

Date:

Wednesday 4 March 2026 at 1.30 pm

Venue:

Council Chamber, Dunedin House, Columbia Drive, Thornaby, TS17 6BJ

Cllr Mick Stoker (Chair)

Cllr Michelle Bendelow (Vice-Chair)

Cllr Carol Clark, Cllr Dan Fagan, Cllr Lynn Hall, Cllr Elsi Hampton, Cllr Shakeel Hussain, Cllr Eileen Johnson, Cllr Tony Riordan, Cllr Andrew Sherris, Cllr Norma Stephenson OBE, Cllr Jim Taylor, Cllr Sylvia Walmsley and Cllr Barry Woodhouse

Agenda

1. **Evacuation Procedure** (Pages 7 - 10)
2. **Apologies for Absence**
3. **Declarations of Interest**
4. **Minutes of the meeting which was held on 4 February 2026** (Pages 11 - 20)
5. **Planning Protocol** (Pages 21 - 22)
6. **25/1330/OUT Land East Of Holdenfields Farm, Green Lane, Yarm**(Pages 23 - 94)
7. **25/1001/FUL Kirklevington Hall, Thirsk Road, Kirklevington** (Pages 95 - 190)
8. **25/0865/FUL 2 The Willows, Stockton-on-Tees, TS19 8BD** (Pages 191 - 212)
9. **Appeals** (Pages 213 - 236)

1. Appeal Ms T Hoai Le 1 Butterfield Drive 25/1162/FUL

Appeal Dismissed

2. Appeal Cameron Hall Development Limited Land At Wynyard Village 22/2579/FUL

Appeal Allowed with Conditions

3. Appeal Mr Patrick 18 Oxbridge Lane 25/0891/ADV

Appeal Dismissed

Members of the Public - Rights to Attend Meeting

With the exception of any item identified above as containing exempt or confidential information under the Local Government Act 1972 Section 100A(4), members of the public are entitled to attend this meeting and/or have access to the agenda papers.

Persons wishing to obtain any further information on this meeting, including the opportunities available for any member of the public to speak at the meeting; or for details of access to the meeting for disabled people, please.

Contact: Democratic Services Officer Sarah Whaley on email sarah.whaley@stockton.gov.uk

Key – Declarable interests are :-

- Disclosable Pecuniary Interests (DPI's)
- Other Registerable Interests (ORI's)
- Non Registerable Interests (NRI's)

Members – Declaration of Interest Guidance

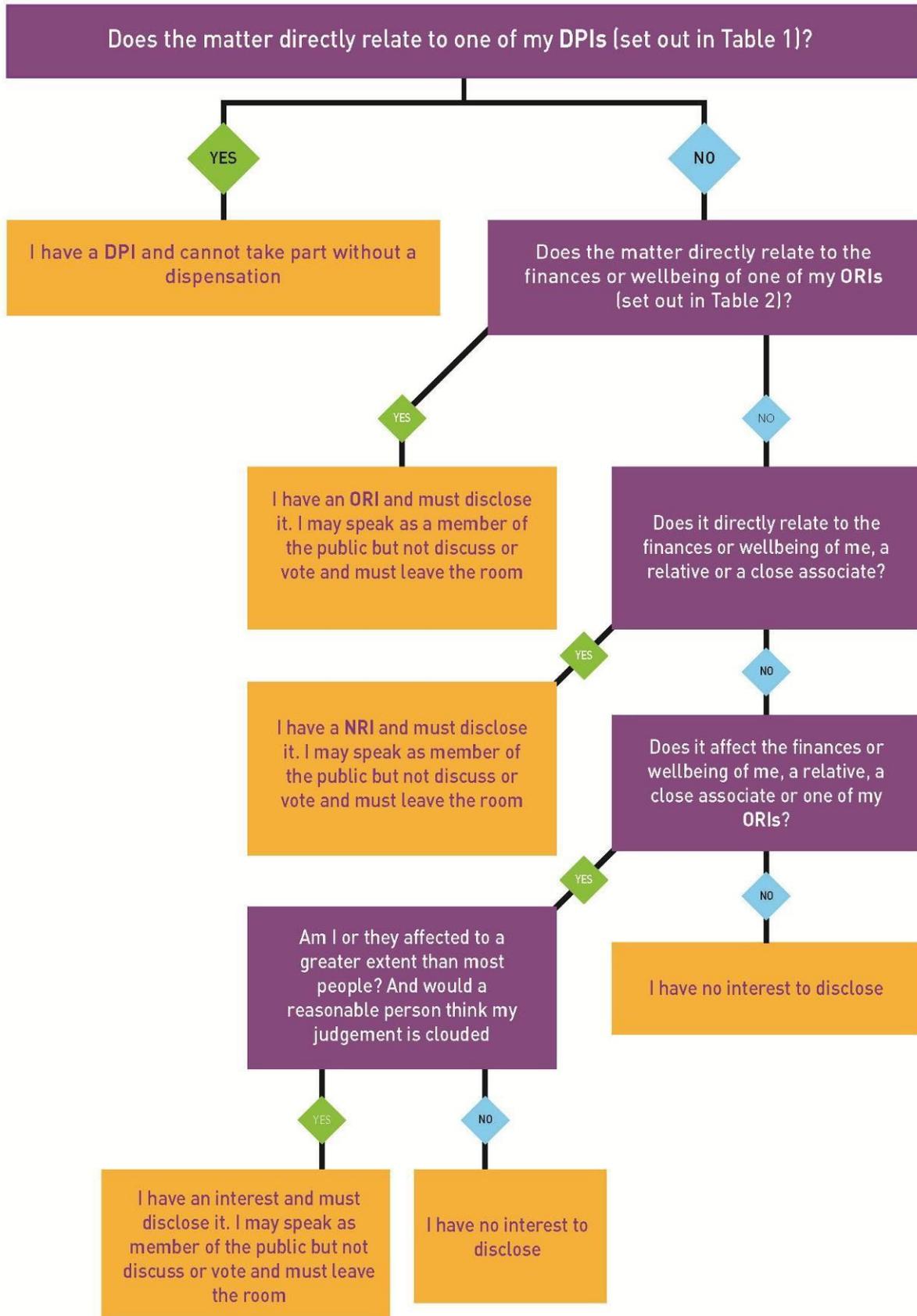


Table 1 - Disclosable Pecuniary Interests

Subject	Description
Employment, office, trade, profession or vocation	Any employment, office, trade, profession or vocation carried on for profit or gain
Sponsorship	Any payment or provision of any other financial benefit (other than from the council) made to the councillor during the previous 12-month period for expenses incurred by him/her in carrying out his/her duties as a councillor, or towards his/her election expenses. This includes any payment or financial benefit from a trade union within the meaning of the Trade Union and Labour Relations (Consolidation) Act 1992.
Contracts	Any contract made between the councillor or his/her spouse or civil partner or the person with whom the councillor is living as if they were spouses/civil partners (or a firm in which such person is a partner, or an incorporated body of which such person is a director* or a body that such person has a beneficial interest in the securities of*) and the council — (a) under which goods or services are to be provided or works are to be executed; and (b) which has not been fully discharged.
Land and property	Any beneficial interest in land which is within the area of the council. 'Land' excludes an easement, servitude, interest or right in or over land which does not give the councillor or his/her spouse or civil partner or the person with whom the councillor is living as if they were spouses/ civil partners (alone or jointly with another) a right to occupy or to receive income.
Licences	Any licence (alone or jointly with others) to occupy land in the area of the council for a month or longer.
Corporate tenancies	Any tenancy where (to the councillor's knowledge)— (a) the landlord is the council; and (b) the tenant is a body that the councillor, or his/her spouse or civil partner or the person with whom the councillor is living as if they were spouses/ civil partners is a partner of or a director* of or has a beneficial interest in the securities* of.
Securities	Any beneficial interest in securities* of a body where— (a) that body (to the councillor's knowledge) has a place of business or land in the area of the council; and (b) either— (i) the total nominal value of the securities* exceeds £25,000 or one hundredth of the total issued share capital of that body; or (ii) if the share capital of that body is of more than one class, the total nominal value of the shares of any one class in which the councillor, or his/ her spouse or civil partner or the person with whom the councillor is living as if they were spouses/civil partners have a beneficial interest exceeds one hundredth of the total issued share capital of that class.

* 'director' includes a member of the committee of management of an industrial and provident society.

* 'securities' means shares, debentures, debenture stock, loan stock, bonds, units of a collective investment scheme within the meaning of the Financial Services and Markets Act 2000 and other securities of any description, other than money deposited with a building society.

Table 2 – Other Registerable Interest

You must register as an Other Registrable Interest:

- a) any unpaid directorships
- b) any body of which you are a member or are in a position of general control or management and to which you are nominated or appointed by your authority
- c) any body
 - (i) exercising functions of a public nature
 - (ii) directed to charitable purposes or
 - (iii) one of whose principal purposes includes the influence of public opinion or policy (including any political party or trade union) of which you are a member or in a position of general control or management

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Council Chamber, Dunedin House Evacuation Procedure & Housekeeping

Entry

Entry to the Council Chamber is via the Council Chamber entrance indicated on the map below.



In the event of an emergency alarm activation, everyone should immediately start to leave their workspace by the nearest available signed Exit route.

The emergency exits are located via the doors on either side of the raised seating area at the front of the Council Chamber.

Fires, explosions, and bomb threats are among the occurrences that may require the emergency evacuation of Dunedin House. Continuous sounding and flashing of the Fire Alarm is the signal to evacuate the building or upon instruction from a Fire Warden or a Manager.

The Emergency Evacuation Assembly Point is in the overflow car park located across the road from Dunedin House.

The allocated assembly point for the Council Chamber is: D2

Map of the Emergency Evacuation Assembly Point - the overflow car park:



All occupants must respond to the alarm signal by immediately initiating the evacuation procedure.

When the Alarm sounds:

1. **stop all activities immediately.** Even if you believe it is a false alarm or practice drill, you MUST follow procedures to evacuate the building fully.
2. **follow directional EXIT signs** to evacuate via the nearest safe exit in a calm and orderly manner.
 - do not stop to collect your belongings
 - close all doors as you leave
3. **steer clear of hazards.** If evacuation becomes difficult via a chosen route because of smoke, flames or a blockage, re-enter the Chamber (if safe to do so). Continue the evacuation via the nearest safe exit route.
4. **proceed to the Evacuation Assembly Point.** Move away from the building. Once you have exited the building, proceed to the main Evacuation Assembly Point immediately - located in the **East Overflow Car Park**.
 - do not assemble directly outside the building or on any main roadway, to ensure access for Emergency Services.

5. await further instructions.

- **do not re-enter the building under any circumstances without an “all clear”** which should only be given by the Incident Control Officer/Chief Fire Warden, Fire Warden or Manager.
- do not leave the area without permission.
- ensure all colleagues and visitors are accounted for. Notify a Fire Warden or Manager immediately if you have any concerns

Toilets

Toilets are located immediately outside the Council Chamber, accessed via the door at the back of the Chamber.

Water Cooler

A water cooler is available at the rear of the Council Chamber.

Microphones

During the meeting, members of the Committee, and officers in attendance, will have access to a microphone. Please use the microphones, when invited to speak by the Chair, to ensure you can be heard by the Committee and those in attendance at the meeting.

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Planning Committee

A meeting of Planning Committee was held on Wednesday 4th February 2026.

Present: Cllr Mick Stoker (Chair), Cllr Michelle Bendelow (Vice-Chair)
Cllr Carol Clark, Cllr Robert Cook (Sub for Cllr Norma Stephenson OBE), Cllr John Coulson (Sub for Cllr Dan Fagan), Cllr Lynn Hall, Cllr Elsi Hampton, Cllr Shakeel Hussain, Cllr Eileen Johnson, Cllr Mohammed Mazi (Sub for Cllr Tony Riordan), Cllr Paul Rowling (Sub for Cllr Barry Woodhouse), Cllr Andrew Sherris, Cllr Jim Taylor and Cllr Sylvia Walmsley

Officers: Julie Butcher, Jill Conroy, Simon Grundy, Martin Parker and Sarah Whaley

Also in attendance: Applicants, Agents and Members of the Public

Apologies: Cllr Dan Fagan, Cllr Tony Riordan, Cllr Norma Stephenson OBE and Cllr Barry Woodhouse

P/51/25 Evacuation Procedure

The evacuation procedure was noted.

P/52/25 Declarations of Interest

In the interest of transparency Councillor Sylvia Wlamsley informed the Committee that in relation to item 24/0211/REM Thornaby Football, she had attended several meetings at Thornaby Football club relating to the ongoing developments of the football pitches. Councillor Walmsley informed Members that she was not pre-determined regards this development. Councillor Walmsley took part in the debate and the vote.

P/53/25 Minutes of the meeting which was held on 10 December 2025

The minutes were approved and signed as a correct record by the Chair.

P/54/25 Planning Protocol

The planning protocol was noted.

P/55/25 24/0211/REM reserved matters application for appearance, landscaping, layout and scale for the erection of 10no dwellings at Land South of Thornaby Football Club, Acklam Road, Thornaby

Consideration was given to planning application 24/0211/REM 10no dwellings at Land South of Thornaby Football Club, Acklam Road, Thornaby

Following the grant of outline consent at appeal (ref; 18/0409/OUT), reserved matters approval was sought for appearance, landscaping, layout and scale for the erection of 10no dwellings on land to the South of Thornaby Football Club.

Members were advised that the list of approved plans needs to be changed to remove drainage strategy plans but this was covered by a condition

The application site related to housing within the defined settlement limits, on unallocated land outside of the designated green wedge, thereby drawing support from Local Plan Policies.

The application had been assessed in full, and whilst it was acknowledged that there would be some environmental impact in terms of tree loss, overall, it was considered that the development would not result in any significant conflict with the policies of the Local Plan or relevant chapters of the NPPF and there were no technical reasons why the proposed scheme would be deemed unacceptable in planning terms in which to justify refusal of the application.

The consultees that had been notified and the comments that had been received were detailed within the main report.

Neighbours were notified and the comments received were detailed within the main report.

The planning policies and material planning considerations that were relevant to the consideration of the application were contained within the main report.

The planning officers report concluded that in view of the assessment detailed within the report, it was considered that the proposed development would not result in any significant conflict with the policies contained within the Stockton on Tees Local Plan or the relevant chapters of the NPPF and there were no technical reasons why the proposed scheme would be deemed unacceptable.

In planning terms, the proposed development was considered acceptable in all other regards and was therefore recommended for approval subject to those planning conditions set out in the report.

The Applicants Agent attended the meeting and was given the opportunity to make representation. Their comments could be summarised as follows:

Following the grant of outline consent at appeal (ref; 18/0409/OUT) the appeal inspector concluded 10 homes with landscaping and tree protection could be accommodated without undue harm and would not undermine the setting and character of the area or cemetery.

The layout and design had been carefully positioned with the removal of 11 trees which would be replaced and replanted in a more appropriate place and would provide screening and add to the character for this location. The access road which had been in place since 1917 would be upgraded and enhanced.

There had been no technical objections or any objections from highways.

Natural England had issued a nutrient credit certificate certifying the developer's compliance with nutrient neutrality.

The applicants' agent urged the Committee to approve the reserved matters application.

Thornaby Football Clubs's chief operating officer attended the meeting and was given the opportunity to make representation. Their comments could be summarised as follows:

The football club fully supported the application.

Members were informed that the club had seen a barrage of Anti-Social Behaviour (ASB) which cost the club enormous costs. The football club had had its mains power disconnected as a result of a fire in the cabin at the top of the proposed site.

The club had been without mains power for over a year which had cost the football club in excess of £100,000 thus far, and were in no near sight of being reconnected to the mains.

The proposed application offered access improvements that was absolutely needed for the football club to carry on.

Should the proposed application gain approval this would help deliver further investment into both the football club and facilities, bringing new supporters and a much-needed positive change to Thornaby by improving the deprivation score in that area of Thornaby.

The club had a very positive relationship with the developers and saw nothing but positives for the area and the football club should the development go ahead.

Members were given the opportunity to ask questions / make comments. These could be summarised as follows:

The application site was on previously built land on a footprint where the old club house was and where the old changing rooms were. Site security would be improved as well as, the lives of residents on Acklam Road because of the rear access, which at the moment was problematic.

The development could only enhance the area and the football club as it had been a victim of vandalism for a very long time.

A request was made that drainage conditions were confirmed fully prior to the commencement of the build should the application be approved.

Assurances were also sought relating to access, the reappointing of trees within the 5-year rule and provision of hedgehog tunnels.

Officers were given the opportunity to respond to comments/issues raised. Their responses could be summarised as follows:

The Planning Services Manager confirmed to Members that assurances Members had requested would be covered by planning conditions and enforcement measures and where hedgehog tunnels had been queried this would be looked at and included in the ecology report if members agreed.

Principal Highways Engineer informed members that the current access was basically a dirt track and what was proposed was a vast improvement and would provide better access to the rear properties.

A vote took place and the application was approved.

RESOLVED that planning application 24/0211/REM be approved subject to the following conditions;

Approved Plans

01 The development hereby approved shall be in accordance with the following approved plan(s);

Plan Reference Number	Date Received
2404-P001A	28 April 2025
2404-P100H	23 January 2026
2404-P101	06 February 2024
2404-P102	06 February 2024
2404-P103	06 February 2024
2404-P105	06 February 2024
2404-P200C	23 January 2026
2404-P201C	23 January 2026
2404-P202B	23 January 2026
H77578-JNP-92-XX-DR-C-2000-P05	22 July 2024
H77578-JNP-92-XX-DR-C-2001-P01	22 July 2024
H77578-JNP-92-XX-DR-C-2002-P01	22 July 2024

External Materials

02 No development above base course shall commence until details of all external finishing materials for the dwellings hereby approved, have been submitted to and approved in writing by the Local Planning Authority. The development shall thereafter be undertaken in accordance with the approved details.

Hardsurfacing Details

03 No development above base course shall commence until full details of all new hard surfacing has been submitted to and approved in writing by the Local Planning Authority.

Details shall include all external finishing materials, finished levels, and all construction details confirming materials, colours, finishes and fixings. The scheme shall be completed to the satisfaction of the Local Planning Authority and in accordance with the approved details within a period of 12 months from the date on which the development commenced or prior to the occupation of any part of the development.

Landscaping Scheme

04 Notwithstanding the, submitted information, no development above base course level shall commence until a detailed landscaping scheme, in accordance with the principles set out on drawing 2402-P200C has been submitted to and approved in writing by the Local Planning Authority.

The landscape scheme shall include accurate plan-based details of the following:

- Details of hard and soft landscaping including planting species, sizes, layout, densities, numbers.

- Details of planting procedures or specification.
- Finished topsoil levels and depths.
- Details of temporary topsoil and subsoil storage provision.
- Seeded or turf areas, habitat creation areas and details etc. Details of land and surface drainage.
- Full details of the management, maintenance and accessibility of all areas of open space in perpetuity.

Any submitted scheme must be shown to comply with legislation protecting nesting birds and roosting bats.

Landscaping Implementation

05 All new planting, seeding or turfing and habitat creation in the approved details of the landscaping scheme shall be carried out in the first available planting season following the practical completion of the development.

No tree shall be felled or hedge removed until the removal/felling is shown to comply with legislation protecting nesting birds and roosting bats.

Any approved replacement tree or hedge planting shall be carried out within 12 months of felling and removals of existing trees and hedges.

Any trees or plants which die, fail to flourish or are removed within a period of 5 years from the substantial completion of the development shall be replaced in the next planting season with others of similar size and species.

Replacements will be subject to the same conditions.

Means of Enclosure

06 Notwithstanding the details of the approved plans, prior to the installation of any new means of enclosure, full details including type, location and materials to be used, shall be submitted to and approved in writing by the Local Planning Authority. The means of enclosure shall thereafter be erected in accordance with the details as approved.

Street Lighting

07 Notwithstanding the details of the approved plans, prior to the installation of any new street lighting, full details including type and location, shall be submitted to and approved in writing by the Local Planning Authority. The street lighting shall thereafter be installed in accordance with the details as approved.

Tree Protection

08 No site clearance or development shall commence on site until an Arboricultural Method Statement (AMS) prepared by an Arboricultural consultant providing comprehensive details of construction works in relation to trees has been submitted to, and approved in writing by, the Local Planning Authority.

The method statement must provide the following:-

- A specification for protective fencing to trees during construction which complies with BS5837:2013 and a plan indicating the alignment of the protective fencing;
- A specification for scaffolding and ground protection within tree protection zones in accordance with British Standard 5837: 2012;
- Details of the area for storage of materials, equipment and concrete mixing; o Plans and particulars showing the siting of the service and piping infrastructure;
- A full specification for the construction of any arboriculturally sensitive structures and sections through them, including the installation of boundary treatment works, the method of construction of the access driveway including details of the no-dig specification and extent of the areas of the driveway to be constructed using a no-dig specification;
- Details of the works requiring Arboricultural supervision to be carried out by the developer's Arboricultural consultant, including details of the frequency of supervisory visits and procedure for notifying the local planning authority of the findings of the supervisory visits;
- Details of all other activities, which have implications for trees on or adjacent to the site, including how materials and roof trusses will be brought into the site, and
- The contact details of the Arboricultural consultant who will regularly oversee the construction process and be available to liaise with the local planning authority.

The development shall subsequently be carried out in strict accordance with the approved details.

The approved tree protection measures shall be put in place before any construction or ground clearance takes place and retained as such throughout the construction period.

There shall be no storage of soil, materials and equipment within the tree protection measures.

Tree Protection

09 In order that trees to be retained on-site are not damaged during the construction works and to ensure that as far as possible the work is carried out in accordance with the approved Method Statement, no site clearance or development shall commence on site until a pre-commencement site meeting has been held, attended by the developer's arboricultural consultant, the designated site foreman and a representative from the local planning authority, to discuss details of the proposed work and working procedures. Subsequently and until the completion of all site works, site visits should be carried out on a monthly basis by the developer's arboricultural consultant.

A report detailing the results of site supervision and any necessary remedial works undertaken or required should then be submitted to the local planning authority for written approval. Any approved remedial works shall subsequently be carried out under strict supervision by the arboricultural consultant following that approval.

Ecology

10 The development hereby approved shall be undertaken in strict accordance with the 'Conclusions & Recommendations' as outlined in Chapter 6 of the submitted Preliminary Ecological Appraisal, produced by Ecosurv Ltd, issued 23rd October 2025.

Nutrient Neutrality Credit Certificate

11 No development shall commence until a completed Final Nutrient Credit Certificate has been submitted to and approved in writing by the Local Planning Authority.

Permitted Development Rights

12 Notwithstanding the provisions of classes A, AA, B, C, D and E of Part 1, Schedule 2 of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any order revoking and re-enacting that Order), the buildings hereby approved shall not be extended or altered in any way, nor any ancillary buildings or means of enclosure erected within the curtilage without the written approval of the Local Planning Authority

Informative Reason for Planning Approval

Informative: Working Practices

The Local Planning Authority has worked in a positive and proactive manner and sought solutions to problems arising in dealing with the planning application by gaining additional information required to assess the scheme and by the identification and imposition of appropriate planning conditions.

Informative: Northern Gas Networks

The applicant should contact Northern Gas Networks 0800 040 7766 to ensure no nearby apparatus is at risk during construction works.

Informative: Section 278 and 38 Agreement

A Section 278 Agreement and a separate Section 38 Agreement would need to be entered into regarding the highway and footpaths as part of this development. All costs of the highway works as part of the Section 278 Agreement would have to be met by the applicant.

Informative: Secured by Design

The applicant is encouraged to implement Secured by Design to allow for the development to implement architectural crime prevention measures

www.securedbydesign.com

Further guidance is available from Cleveland Police's Designing out Crime Officer Stephen.Cranston2@cleveland.police.uk

P/56/25 Planning Compliance Performance Report

Consideration was given to a report on Planning Compliance Performance - Quarterly Update. This was the latest quarter report (Quarter 3, 2025/26).

The Stockton on Tees Local Enforcement Plan (LEP) was approved at planning committee in September 2024 and became live on the 1 November 2024 and this report provided the latest quarterly report.

As part of the LEP, service targets were introduced which were;

70% of enforcement cases closed where no breach identified within 20 working days.

60% of enforcement requests receiving an initial response, for example no breach of control identified or further investigation to be undertaken, within 10 working days.

60% of planning enforcement cases, where the case actions were determined within the established priority timescales.

Details of current performance and trends were contained within the officers' report, such as annual comparatives in caseloads and performance as well as a snapshot of last quarter's performance.

The last three years caseloads had increased year on year, with the last year 2025 being the highest in recent records and a 36% increase on year end in 2024 and a 49% increase on 2023. The nature of the caseload as well as the total number of cases continued to be monitored to ensure resources remained adequate.

Despite the increase in new allegations being received, the numbers of open cases were consistent with those open cases at the end of 2024, with the average number of days to process such cases reducing from 353 days to 132 days. With the variance from that figure and the average 'closed case' periods reported on a quarterly basis following the introduction of the LEP, being due to historic cases being closed alongside new ones.

The total number of served enforcement notices over the past two years (20) had also quadrupled since 2020-23 (5).

In terms of quarter 3 2025/2026, performance against the internal performance standards continued to remain high with the relevant thresholds being exceeded in all cases, and overall 97% of all the number of cases in the last quarter had had case actions determined within the identified priority period.

Over the last quarter the number of cases received had dropped slightly, although there continued to be year on year increases in cases reported.

Notwithstanding that, the overall time to process cases had marginally increased, although the average turnaround period remained comparable to those across the year so far.

Two cases from the previous quarter where there had been no compliance with an enforcement notice, had seen landowners begin to rectify works and the planning service team continued to discuss a case of non-compliance with colleagues in legal services over appropriate next steps.

Currently the total number of unresolved compliance cases equated to 181, with 47 cases being historic cases received before the introduction of the Local Enforcement Plan.

The next quarterly update of the 'Planning Compliance Performance Report' would be quarter 4 of 2025/26 (January - March), which was anticipated being reported in April/May 2026.

RESOLVED that the report be noted.

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Planning Committee Procedure

1. Officers present the report to Members
2. Members of the public, applicants and agents speak for/against the application, 3 minutes each
3. Officers respond to any queries/misinformation which may have been raised as a result of public speaking
4. Members discuss the application in general and seek clarification from Officers/agents if necessary
5. Officers respond to any points raised by Members and give a brief summary of the proposal in view of comments raised
6. If it looks as if the application may go contrary to officer recommendation, Members debate and propose the possible reasons for the decision and the lead planning and legal representatives and other officers will advise which reasons are acceptable or not. Members respond on whether they wish to vary the reasons accordingly
7. Following the discussion, Members will be asked to confirm and then agree the reasons upon which they will rely if they vote for refusal of the application
8. Members vote on the officer recommendation or any alternative motion successfully carried
9. If the decision taken is contrary to officer recommendation, the Planning Officer, and Legal Representative are given the appropriate amount of time to discuss whether the protocol for decisions contrary to officer recommendation should be invoked and that the committee and members of the public be informed of the outcome of that decision
10. The next application is then debated

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DELEGATEDReport to Planning Committee
4 March 2026

Report of Director of Regeneration and Inclusive Growth

25/1330/OUT**Land East Of Holdenfields Farm, Green Lane, Yarm****Expiry Date: 30 September 2025****Extension of Time Date: 4 March 2025****Summary**

Planning permission is sought for Outline planning application with all matters reserved except access for up to 600 dwellings..

The application site is outwith the development limits, however the Council cannot demonstrate a five year supply of housing and therefore the benefits of the scheme have been weighed against the harm as detailed in the report.

The development has received a significant number of objections which have been considered in full and there are no sustainable planning reasons to refuse the development.

The proposal is considered to be acceptable in planning terms in all other regards and is recommended for approval subject to those conditions as detailed within the report.

Recommendation(s)

That planning application 25/1330/OUT be approved subject to the following conditions and informatives and subject to the applicant entering into a Section 106 Agreement in accordance with the Heads of Terms below;

01 Reserved Matters - Time Period for submission

Application for the approval of reserved matters shall be made to the Local Planning Authority before the expiration of 3 years from the date of this permission.

Reason: By virtue of the provisions of Section 92 of the Town and Country Planning Act 1990.

02 Period for Commencement

The development hereby permitted shall be begun either before the expiration of 3 years from the date of this permission, or before the expiration of 2 years from the date of approval of the last of the reserved matters to be approved, whichever is the latest.

Reason: By virtue of the provisions of Section 92 of the Town and Country Planning Act 1990.

03 Reserved Matters – Details

Notwithstanding the submitted plans, approval of the details of the Appearance, Landscaping, Layout and Scale of the development known as the 'Reserved Matters' shall be obtained in writing from the Local Planning Authority before the development is commenced. The development shall be carried out in accordance with the approved plans

Reason: To reserve the rights of the Local Planning Authority with regard to these matters

04 Approved Plans

The development hereby approved shall be in accordance with the following approved plan(s);

Plan Reference	Description	Date Received
0750-F11 REV E	Site Access Plan (Glaisdale Rd)	9 October 2025
0750-F13 REV F	Site Access Plan (Kirk Rd)	9 October 2025
0750-01	Location Plan	1 July 2025

Reason: To define the consent

05 Scope

The development shall be implemented in general conformity with the approved Illustrative Masterplan ref TWHY-PHS-XX-XX-DR-A-00002 Rev P10 submitted with the planning application.

Reason: To ensure that the Reserved Matters for the appearance, layout and scale of the buildings and landscaping to be submitted are in accordance with the master plan on which the development has been considered and to enable the Local Planning Authority to satisfactorily control the development.

06 Design Code

Prior to the or as part of the first reserved matters application for housing, a Design Code informed by the Local Design guide SPD, shall be submitted to and be approved in writing by the local planning authority. Thereafter the development phases shall be implemented in general conformity with the approved design guide.

Reason: To enable the Local Planning Authority to satisfactorily control the development in the interest of place making and a development that is cohesive across all phases.

07 Phasing Plan

No development shall commence until a phasing plan for the application site including the delivery and phasing of the signalised junctions has been submitted to and been approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved phasing plan unless otherwise approved in writing with the Local Planning Authority.

Reason: To ensure that the development takes place in accordance with the conditions attached hereto, in so far as those conditions relate to each phase of.

08 Existing and Proposed Site levels;

Notwithstanding the information submitted as part of the application, for each phase of the development, details of the existing and proposed site levels and finished floor levels shall be submitted to and approved by the Local Planning Authority prior to the commencement of the development. Work shall be undertaken in accordance with the approved scheme.

Reason: To define the consent and to ensure that the development does not adversely impact on the visual amenities of the area

09 Accessible and adaptable homes

Notwithstanding the submitted plans a minimum of 50% of the proposed dwellings shall meet Building Regulation M4(2) and a minimum of 8% of the proposed dwellings shall meet Building Regulation M4(3).

Reason: In the interests of promoting accessible and adaptable homes in accordance with Policy H4 of the local plan.

10 Noise

A detailed noise impact assessment shall be submitted during the reserved matters stage for each phase of the development. The detailed design should consider the noise impact including impact from the proposed play spaces and identify any mitigation required. A programme for implementation shall be included in the report. Any remediation measures shall be fully installed within a time period to be agreed with the local planning authority and the noise measurements must be repeated and submitted to the local planning authority for approval in writing following the completion of the remedial works. Upon written acceptance of the validation report and for the lifetime of the development thereafter, the noise level shall not exceed those agreed within the validation assessment.

Reason: To ensure that the development hereby permitted is not detrimental to the amenity of the future residents by reason of undue external noise

11 Energy Efficiency

Prior to the commencement of development on each phase, an energy statement identifying how the predicted CO₂ emissions of the development will be reduced by at least 10% or how the development will provide at least 10% of the total predicted energy requirements of the development from renewable energy sources shall be submitted and approved in writing by the local planning authority. The carbon savings which result from this will be above and beyond what is required to comply with Part L Building Regulations. Before the development is occupied the renewable energy equipment or design efficiency measures shall have been installed and the local planning authority shall be satisfied that their day-to-day operation will provide energy for the development for so long as the development remains in existence.

Reason: Reason: In the interests of promoting sustainable development in accordance with the requirements of Local Plan Policy ENV1

12 Open Space

Within each phase, no Development shall be commenced until the Local Planning Authority has approved in writing the details of arrangements for the setting out of the Public Open Space and play facilities by the developer in accordance with the Open Space, Sport and Recreation Supplementary Planning Document as part of the development, and such arrangements shall address and contain the following matters:

- A) The delineation and siting of the proposed public open space
- B) The type and nature of the facilities to be provided within the public open space including the provision of play equipment for all age groups including young children and teenagers which shall be supplied and installed to a specification as agreed by the local planning authority.
- C) The arrangements the developer shall make to ensure that the Public Open Space is laid out and completed during the course of the development
- D) The arrangements the developer shall make for the future maintenance of the Public Open Space
- E) The open space shall be completed in accordance with the approved scheme and phasing arrangements as agreed by the local planning authority.

Reason: To enable the Local Planning Authority to satisfactorily control the development

13 Ecology and Biodiversity

Works shall be undertaken in complete accordance with the avoidance mitigation and compensation recommendations as detailed in Section 6 Ecological Appraisal, Land South of Green Lane, Yarm, June 2025.

Reason: To conserve protected species and their habitat where necessary

14 CEMP (Ecology)

Prior to the commencement of development a Construction and Environmental Management Plan (CEMP), shall be submitted and approved by the local authority, and will include as a minimum:

- Checking surveys for badger.
- Method Statements for protected species (badger, breeding birds, bats and amphibians).
- Appropriate working methods and detail on habitat management and creation
- Appropriate surveys work will be undertaken should plans change and works to trees are proposed where bat roosts could be present. If required, works will not be undertaken until a Natural England licence is in place.

Reason: To conserve protected species and their habitat where necessary

15 Buffer Zone

The reserved matters applications should include a scheme protect the Ancient Woodland and land to the south of the development. Proposals in proximity to ancient woodland should have a buffer zone of at least 15m from the boundary of the woodlands in accordance with the Forestry Commission /Natural England Standing Advice on Ancient Woodland.

Reason: In the interest of protecting the Ancient Woodland and to conserve protected species and their habitat where necessary

16 Ecology Survey

If work does not commence on each phase within 2 years from the date of the submitted (or subsequent) ecology survey for that area of the site, a maximum of three months before works commencing on site a suitably qualified ecologist shall undertake a checking survey to ensure that no protected species or their habitat is present on site. The results of the survey shall be submitted and approved in writing by the local planning authority and identify any additional or revised mitigation measures required

Reason: To conserve protected species and their habitat where necessary

17 Habitat and wildlife

As detailed in BS 3998:2010, prior to work commencing, the trees and their surroundings should be assessed for the presence of protected species , some of which are subject to season-specific legislation. Any works should be planned so as to limit their potential adverse impact on wildlife generally. The timing of works should take account of the seasonal cycles of the species of fauna and flora concerned (including the nesting habits of birds and the egg-laying habits of insects).

Reason: In compliance with the Habitat Regulations and Countryside and Wildlife Act

18. Biodiversity Net Gain

No development shall commence until a Biodiversity Gain Plan has been submitted to and approved by the Local Planning Authority. A Biodiversity Gain Plan, must be submitted to

and approved by the planning authority before the development can begin; and thereafter a Biodiversity Gain Plan for each reserved matter in relation to layout must be submitted to and approved by the planning authority before the development of that phase can begin and ensure that there is a minimum 10% net gain in biodiversity within a 30 year period as a result of the development

Reason: In the interests of ensuring measurable net gains to biodiversity and allow the LPA to discharge its duties under the NPPF (2023)

19 Habitat Management and Monitoring Plan

No development shall commence until a Habitat Management and Monitoring Plan (HMMP) has been prepared in accordance with the approved Biodiversity Gain Plan and has been submitted to and approved in writing by the Local Planning Authority. The HMMP shall include:

- (a) a non-technical summary;
 - (b) the roles and responsibilities of the people or organisation(s) delivering the HMMP;
 - (c) the planned habitat creation and enhancement works to create or improve habitat to achieve the biodiversity net gain in accordance with the approved Biodiversity Gain Plan;
 - (d) the management measures to maintain habitat in accordance with the approved Biodiversity Gain Plan for a period of 30 years from the practical completion of the development or the first occupation of the development, whichever is the sooner
- Monitoring reports will be submitted to the Council during years 2,5, 7, 10, 20 and 30 from commencement of development unless otherwise stated in the Biodiversity Management Plan, demonstrating how the BNG is progressing towards achieving its objectives, evidence of arrangements and any rectifying measures needed.

Reason: To ensure the proposed habitat creation and/or enhancements are suitably managed and monitored to ensure development delivers a biodiversity net gain in accordance with Schedule 7A of the Town and Country Planning Act 1990.

20 Construction Environmental Management Plan (Amenity)

No part of the development hereby approved shall commence until a Construction Environmental Management Plan (CEMP) has been submitted to and approved in writing by the Local Planning Authority for each phase. The CEMP shall set out, as a minimum, site specific measures to control and monitor impact arising in relation to noise and vibration, dust and air pollutants (in broad accordance with the Air Quality Assessment June 2025), land contamination and ecology. The CEMP shall include measures to effectively control dust emissions from the site works, in accordance with an impact assessment undertaken in accordance with the IAQM guidance, this shall address earth moving activities, control and treatment of stockpiles.

It shall also set out arrangements by which the developer shall maintain communication with businesses and residential premises in the vicinity of the site, and by which the developer shall monitor and document compliance with the measures set out in the CEMP. The development shall be carried out in full accordance with the approved CEMP at all times.

Reason: In the interests of protecting the environment.

21 Landscaping (Aviation requirements)

No development shall take place until full details of soft and water landscaping works have been submitted to and approved in writing by the Local Planning Authority, details must comply with CAST Advice Note 3, 'Wildlife Hazards' available at [CAST Advice Note 3- Wildlife Hazards Around an Aerodrome](#). These details shall include:

- any earthworks

- grassed areas
 - the species, number and spacing of trees and shrubs
 - plans for the BNG/ Nutrient Neutrality area of the site
 - details of any water features
 - drainage details including SUDS – Such schemes must comply with CAST Advice Note 3 'Wildlife Hazards' [CAST Advice Note 3- Wildlife Hazards Around an Aerodrome](#)
- No subsequent alterations to the approved landscaping scheme are to take place unless submitted to and approved in writing by the Local Planning Authority. The scheme shall be implemented as approved.

Reason: To avoid endangering the safe movement of aircraft and the operation of Teesside International Airport through the attraction of birds and an increase in the bird hazard risk of the application site.

22 Construction Traffic Management Plan

Within each phase, including individual plot development, no development shall take place, until a Construction Management Plan has been submitted to, and approved in writing by, the local planning authority. The Construction Management Plan shall provide details of:

- i. the site construction access(es)
- ii. the parking of vehicles of site operatives and visitors;
- iii. loading and unloading of plant and materials including any restrictions on delivery times;
- iv. storage of plant and materials used in constructing the development;
- v. the erection and maintenance of security hoarding including decorative displays and facilities for public viewing,
- vi. measures to be taken, including but not limited to wheel washing facilities and the use of mechanical road sweepers operating at regular intervals or as and when necessary, to avoid the deposit of mud, grit and dirt on the public highway by vehicles travelling to and from the site;
- vii. measures to control and monitor the emission of dust and dirt during construction;
- viii. a Site Waste Management Plan;
- ix. details of the HGVs routing including any measures necessary to minimise the impact on other road users;
- x. measures to protect existing footpaths and verges; and;
- xi. a means of communication with local residents.

The approved Construction Management Plan shall be adhered to throughout the construction period.

Reason: In the interests of highway safety and residential amenity

23 Tree Retention

Notwithstanding the submitted information, unless shown for removal in the submitted report Ref: ARB/CP/3642 all trees and hedges to the boundaries of the application site shall be retained and maintained for the lifetime of the development. No tree, shrub or hedge shall be cut down, uprooted or destroyed, topped or lopped other than in accordance with any approved plans submitted as part of a reserved matters application.

Any tree, shrub or hedge or any tree, shrub or hedge that dies or is removed, uprooted or destroyed or becomes seriously damaged or defective must be replaced by another of the same size and species unless directed in writing by the Local Planning Authority.

Reason: To protect the existing trees/shrubs and hedges on site that the Local Planning Authority consider to be an important visual amenity in the locality and should be appropriately maintained.

24 Construction Environment Management Plan (Environment Agency)

The development hereby permitted shall not be commenced until such time as a Construction Environment Management Plan has been submitted to, and approved in writing by, the local planning authority. The scheme shall be implemented as approved. The plan should include, but not limited to, the following:

- Treatment and removal of suspended solids from surface water run-off during construction works;
- Approach to ensure no sewage pollution or misconnections;
- Approach to ensure water mains are not damaged during construction works;
- Management of fuel and chemical spills during construction and operation, including the process in place to ensure the environment is not detrimentally impacted in the event of a spill;
-

Reasons To ensure the development contributes to and enhances the environment by preventing new and existing development from contributing to, being put at unacceptable risk from, or being adversely affected by, unacceptable levels of soil, air, water or noise pollution or land instability.

25 Water Framework Directive (WFD) assessment

The development hereby permitted shall not be commenced until such time as a Water Framework Directive Assessment has been submitted to, and approved in writing by, the local planning authority.

Reasons: To ensure the development contributes to and enhances the environment by preventing new and existing development from contributing to, being put at unacceptable risk from, or being adversely affected by, unacceptable levels of soil, air, water or noise pollution or land instability.

26 Details of a Sustainable Surface Water Drainage Scheme

The development hereby approved shall not be commenced on site, until a scheme for 'the implementation, maintenance and management of a Sustainable Surface Water Drainage Scheme has first been submitted to and approved in writing by the Local Planning Authority. The scheme shall be implemented and thereafter managed and maintained in accordance with the approved details, the scheme shall include but not be restricted to providing the following details;

- I. Detailed design of the surface water management system; (for each phase of the development).
- II. A build programme and timetable for the provision of the critical surface water drainage infrastructure;
- III. A management plan detailing how surface water runoff from the site will be managed during the construction phase;
- IV. Details of adoption responsibilities

Reason: To ensure the site is developed in a manner that will not increase the risk of surface water flooding to site or surrounding area, in accordance with the Local Plan Policies SD5 & ENV4 and the National Planning Policy Framework.

27 Site Investigations (Existing Drainage Infrastructure)

Prior to the submission or to accompany a reserved matters application a complete report detailing the full extents and condition of any existing drainage infrastructure shall be submitted to and approved in writing by the Local Planning Authority. If any existing offsite drainage connections or existing culverts are identified during this investigation they must be maintained, and the site layout should be designed to accommodate this, providing sufficient easements to facilitate future maintenance if required.

Reason: To reduce flood risk and ensure satisfactory long-term maintenance are in place for the lifetime of the development.

28 Surface Water Management Scheme

The building hereby approved shall not be brought into use until:-

- I. Requisite elements of the approved surface water management scheme for the development, or any phase of the development are in place and fully operational to serve said building
- II. The drawings of all Suds features have been submitted and approved in writing by the Local Planning Authority, the drawings should highlight all site levels, including the 30year and 100year+cc flood levels and confirmation of storage capacity
- III. A Management and maintenance plan of the approved Surface Water Drainage scheme has been submitted and approved in writing by the Local Planning Authority, this should include the funding arrangements and cover the lifetime of the development

Reason: To reduce flood risk and ensure satisfactory long-term maintenance are in place for the lifetime of the development.

29 Foul and Surface Water

Development shall not commence until a detailed scheme for the disposal of foul and surface water from the development hereby approved has been submitted to and approved in writing by the Local Planning Authority in consultation with Northumbrian Water and the Lead Local Flood Authority. Thereafter the development shall take place in accordance with the approved details.

Reason: To prevent the increased risk of flooding from any sources in accordance with the NPPF.

30 Preliminary Risk Assessment

No development approved by this planning permission (or such other date or stage in development as may be agreed in writing with the Local Planning Authority), shall take place until a scheme that includes the following components to deal with the risks associated with contamination of the site shall each be submitted to and approved, in writing, by the local planning authority:

- a) A preliminary risk assessment which has identified all previous uses; potential contaminants associated with those uses; a conceptual model of the site indicating sources, pathways and receptors and potentially unacceptable risks arising from contamination at the site. If required,
- b) A detailed assessment of the risk to all receptors that may be affected, including those off site.
- c) Based on these, an options appraisal and remediation strategy giving full details of the remediation measures required and how they are to be undertaken.
- d) A verification plan providing details of the data that will be collected in order to demonstrate that the works set out in the remediation strategy are complete and identifying any requirements for longer-term monitoring of pollutant linkages, maintenance and arrangements for contingency action.

This must be undertaken in accordance with the Environment Agencies "Land Contamination Risk Management" Guidance (2023). Any changes to these components require the express written consent of the local planning authority. The scheme shall be implemented as approved.

Reason: National Planning Policy Framework (NPPF) paragraph 109 states that the planning system should contribute to and enhance the natural and local environment by preventing both new and existing development from contributing to or being put at unacceptable risk from or being adversely affected by unacceptable levels of water and land pollution.

31 Written Scheme of Investigation

No development (including demolition, ground works, vegetation clearance) shall commence until a Written Scheme of Investigation (WSI) setting out a programme of archaeological evaluation has been submitted to and approved in writing by the Local Planning Authority. The programme of archaeological work will then be carried out in accordance with the approved scheme of works, in sufficient time to inform the production of a Strategy for Archaeological Mitigation.

Reason: To take account of archaeological deposits in accordance with the requirements of Stockton on Tees Local Plan Policy HE2.

32 Strategy for Archaeological Mitigation (SAM)

No development (including demolition, ground works, vegetation clearance) shall commence until a Strategy for Archaeological Mitigation (SAM) has been submitted to and approved in writing by the Local Planning Authority. The SAM will set out the strategy and timetable for the preservation, investigation and recording of heritage assets in the development area, including the provision made for analysis, publication and dissemination of results, and archive deposition. The development will then be carried out in accordance with the SAM.

The development shall not be occupied until the post investigation processes have been completed in accordance with the approved Strategy for Archaeological Mitigation, and confirmed in writing to, and approved by, the Local Planning Authority

Reason: To take account of archaeological deposits in accordance with the requirements of Stockton on Tees Local Plan Policy HE2.

33. Open Access

Open access ducting to facilitate fibre and internet connectivity shall be provided from the homes to the public highway

Reason: To ensure that infrastructure is provided to facilitate fibre connections to all new development in accordance with Policy TI3 of the Stockton on Tees Local Plan

34. Bins/refuse

Prior to the occupation of the dwellings hereby approved each plot should be provided with the appropriate means of waste and recycling provision in accordance with the applicable Council standards

Reason: To ensure a satisfactory form of development in accordance with Policy SD8

35 Construction working Hours

No construction/building works or deliveries associated with the construction phase of the development shall be carried out except between the hours of 8.00am and 6.00pm on Mondays to Fridays and between 9.00am and 1.00pm on Saturdays. There shall be no construction activity including demolition on Sundays or on Bank Holidays.

Reason: To avoid excessive noise and disturbance to the occupants of nearby properties.

36 Unexpected land Contamination

In the event that unexpected contamination is found at any time when carrying out the approved development, it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken, in accordance with best practice guidance, the details of which are to be agreed in writing with the Local Planning Authority in advance. Where remediation is shown to be necessary a remediation scheme must be prepared and submitted to the Local Planning Authority for approval in writing in advance.

Reason: To ensure that risks from land contamination to the future uses of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out without unacceptable risk to receptors

Informative Reason for Planning Approval

Informative: Working Practices

The Local Planning Authority has worked in a positive and proactive manner and sought solutions to problems arising in dealing with the planning application by gaining additional information required to assess the scheme and by the identification and imposition of appropriate planning conditions.

Informative: Reserved matters

When submitting the application(s) for reserved matters; the reserved matters should include the following details

"layout" means the way in which buildings, routes and open spaces within the development are provided, situated and orientated in relation to each other and to buildings and spaces outside the development;

"appearance" means the aspects of a building or place within the development which determines the visual impression the building or place makes, including the external built form of the development, its architecture, materials, decoration, lighting, colour and texture;

"scale" means the height, width and length of each building proposed within the development in relation to its surroundings;

"landscaping", in relation to a site or any part of a site for which outline planning permission has been granted or, as the case may be, in respect of which an application for such permission has been made, means the treatment of land (other than buildings) for the purpose of enhancing or protecting the amenities of the site and the area in which it is situated and includes—

- (a) screening by fences, walls or other means;
- (b) the planting of trees, hedges, shrubs or grass;
- (c) the formation of banks, terraces or other earthworks;
- (d) the laying out or provision of gardens, courts, squares, water features, sculpture or public art; and
- (e) the provision of other amenity features;

Informative: Environment Agency

The applicant should provide an assessment of the impact of the proposal on water quality in respect to the Leven from Tame to River Tees waterbody (GB103025071880) following the objectives of WFD guidance:

- Stage 1 - WFD screening: to determine if there are any activities associated with the Proposed Development that don't require further consideration, for example activities which have been ongoing since before the current RBMP plan cycle and which have thus formed part of the baseline.
- Stage 2 - WFD scoping: to identify risks of the proposed development's activities to receptors based on the relevant water bodies and their water quality elements (including information on status, objectives, and the parameters for each water body).
- Stage 3 - WFD impact assessment: a detailed assessment of water bodies and their quality elements that are considered likely to be affected by the Proposed Development, identification of any areas of non-compliance; consideration of mitigation measures, enhancements, and contributions to the RBMP objectives. Where the potential for deterioration of water bodies is identified, and it is not possible to mitigate the impacts to a level where deterioration can be avoided, the project would need to be assessed in the context of Article 4.7 of the Directive.
- More information can be found on the gov.uk website: <https://www.gov.uk/guidance/water-framework-directive-assessment-estuarine-and-coastal-waters>

Water Quality Permit Requirements - You do not require a permit if you are only discharging uncontaminated surface runoff. If you intend to discharge to surface water for dewatering purposes, this may be covered by a Regulatory Position Statement (RPS) for water discharge activities. If you can comply with all of the conditions within the RPS, then a permit is not required for this activity. Please find the RPS conditions here: Temporary dewatering from excavations to surface water - GOV.UK (www.gov.uk) If any discharges do not fully comply with the RPS, then a bespoke discharge permit will be required. Please find guidance on applying for a bespoke water discharge permit here: Discharges to surface water and groundwater: environmental permits - GOV.UK (www.gov.uk) The linked page also provides contact information should you need assistance.

Sustainable Urban Drainage Systems (SuDS) – Surface water run-off should be controlled as near to its source as possible through a sustainable drainage approach to surface water management (SuDS). SuDS manage surface water run-off by simulating natural drainage systems. Whereas traditional drainage approaches pipe water off-site as quickly as possible, SuDS retain water on or near to the site. As well as reducing flood risk, this promotes groundwater recharge, helps absorb diffuse pollutants, and improves water quality. Ponds, reedbeds and seasonally flooded grasslands can also be particularly attractive features within public open spaces.

SuDS involve a range of techniques including soakaways, infiltration trenches, permeable pavements, grassed swales, green roofs, ponds and wetlands. As such, virtually any development should be able to include a scheme based around these principles. In doing so, they'll provide multiple benefits and will reduce costs and maintenance needs. Approved Document Part H of the Building Regulations 2010 establishes a hierarchy for surface water disposal, and encourages a SuDS approach. The first option for surface water disposal should be the use of SuDS, which encourage infiltration such as soakaways or infiltration trenches. In all cases, it should be established that these options are feasible, can be adopted and properly maintained and would not lead to any other environmental problems. For example, using soakaways or other infiltration methods on contaminated land carries pollution risks and may not work in areas with a high water table. Where the intention is to dispose to soakaway, these should be shown to work through an appropriate assessment carried out under Building Research Establishment (BRE) Digest 365.

Further information on SuDS can be found in: o the CIRIA C697 document SuDS manual o HR Wallingford SR 666 Use of SuDS in high density developments o CIRIA C635 Designing for exceedance in urban drainage - good practice o the Interim Code of Practice for Sustainable Drainage Systems - the Interim Code of Practice provides advice on design, adoption and maintenance issues and a full overview of other technical guidance on SuDS Water Resources-advice to applicant If you intend to abstract more than 20 cubic metres of water per day from a surface water source e.g. a stream or from underground strata (via borehole or well) for any particular purpose then you will need an abstraction licence from the Environment Agency. There is no guarantee that a licence will be granted as this is dependent on available water resources and existing protected rights.

Dewatering is the removal/abstraction of water (predominantly, but not confined to, groundwater) in order to locally lower water levels near the excavation. This can allow operations to take place, such as mining, quarrying, building, engineering works or other operations, whether underground or on the surface.

The dewatering activities on-site could have an impact upon local wells, water supplies and/or nearby watercourses and environmental interests.

This activity was previously exempt from requiring an abstraction licence. Since 1 January 2018, most cases of new planned dewatering operations above 20 cubic metres a day will require a water abstraction licence from us prior to the commencement of dewatering activities at the site.

More information is available on gov.uk: <https://www.gov.uk/guidance/water-management-apply-for-a-water-abstraction-or-impoundment-licence#apply-for-a-licence-for-a-previously-exempt-abstraction>

Informative: Lead Local Flood Authority for Reserved Matters Stage

SuDS Design: At detailed design the applicant should consider using drainage features in combination as a management train, which help create healthy resilient spaces for people and habitats for wildlife. Rather than large end of pipe basins the applicant should consider opportunities to spread SuDS features across the site managing runoff close to its source, prioritising features that lie on the surface and incorporate vegetation. Underground storage features will not be acceptable on a site of this size as there is ample opportunity to accommodate on the surface SuDS.

Greenfield Run-Off: Greenfield run off should be calculated for the whole development area (including all houses, gardens, roads/paved surfaces, and all open space) that is within the area served by the drainage network and that could generate runoff to the proposed drainage system, even if this is only likely to occur during very extreme rainfall events (this may be the case for grassed/vegetated areas)

Water Quality: Section 6.4.2 of the submitted FRA states 'provision of detention basins meets the required indices for surface water treatment prior to discharge to the watercourse'.
– The basin alone will not meet the requirements of a SuDS Management train, at detailed design upper catchment treatment must be considered to adequately address water quality risks from the development (as per Standards 4.1.& 4.2 of the National Standard for sustainable drainage systems (SuDS))

Operation and Maintenance: A new headwall must be constructed to facilitate the outfall connection from the development into the existing watercourse. Appropriate access down to the new headwall must be considered at detailed design stage (as per Standard 7.12 of the National Standard for sustainable drainage systems (SuDS) – The surface water drainage design shall allow free, safe and easy access (including easements where required) for all personnel, vehicles and machinery required to undertake maintenance of the drainage features and for emergency response such as a pollution incident. Care should be taken to ensure that the design enables easy access to components which are a greater risk of being

subject to pollution or becoming clogged or blocked, such as soakaways, outfalls and trash screens or are critical in extreme events, such flow controls)

Land Drainage ConsentA Land Drainage Consent may be required for the construction of the outfall into the existing ordinary watercourse. No works on a watercourse can proceed until written consent has been granted by the LLFA. A land drainage consent is a standalone application that could take up to 8 weeks for determination.

Head of Terms

- Affordable Housing – 20%
- Education contributions in accordance with the Standard Formula
- Open Space Contributions in accordance with the SPD
- NHS Contributions
- Highways Contributions – Crathorne interchange
- Cycleway improvements including delivery schedule.
- Bus Service Diversion
- Nitrate mitigation in accordance with the submitted Technical Note 01 Rv3: Nutrient Assessment 25 June 2025
- Employment and Training

Background

1. Outline planning permission with all matters reserved other than access for up to 200 residential dwellings was sought for the western portion of the land. This application was withdrawn on the 23rd August 2019 (Application 18/0261/OUT).

Site and Surroundings

2. The application site is located to the south of Green Lane, outside the limits to development with runs along Green Lane. The site stretches from Castlelevington Lane to opposite Glaisdale Road.
3. To the West of the site is Hutchinson Hobbs Farm Shop, Holdenfields Farm and other residential dwellings to the southwest. Beyond Castlelevington Lane is HMP Kirklevington and residential dwellings. To the East is open with sporadic residential properties beyond.
4. The site has a tree preservation order to the northern boundary. A PROW runs alongside the southern boundary with a local wildlife site to the south east of the site (East and West Gill Grassland)

Proposal

5. Outline Planning Permission is sought for up to 600 houses with all matters reserved other than access which forms part of this application.
6. The proposed accesses into the site will be signalised junctions with pedestrian and cycle crossing facilities. One access is located 60m to the west of Kirk Road and the other access is directly opposite Glaisdale Road. As part of highway improvements to facilitate the scheme:

- the existing footways and cycle paths will be upgraded and linked to this development.
- a contribution towards improvements at Crathorne interchange will be secured a
- an extension / diversion of an existing bus service, to serve the site, will be secured and funded for a 5 year period.

Consultations

7. Consultees were notified and the following comments were received.

8. Highway England

Offer no objection.

National Highways' assessment of the proposed development: National Highways has been appointed by the Secretary of State for Transport as a strategic highway company under the provisions of the Infrastructure Act 2015 and is the highway authority, traffic authority and street authority for the Strategic Road Network (SRN). The SRN is a critical national asset and as such we work to ensure that it operates and is managed in the public interest, both in respect of current activities and needs as well as in providing effective stewardship of its long-term operation and integrity.

9. Highways Transport & Design Manager

General Summary: Subject to the conditions and s106 requirements set out below the Highways, Transport and Design Manager raises no objection to the proposed development.

Highways Comments: The applicant has submitted a Transport Assessment (TA), Traffic Modelling Results (TMR), site access arrangements and an illustrative masterplan in support of the proposals.

The TA and TMR have demonstrated that the residual cumulative impacts on the road network, following mitigation, would not be severe, taking into account all reasonable future scenarios.

However, in line with the requirements of planning approval 18/0910/OUT, the applicant will need to contribute towards the provision of the highway mitigation at Crathorne interchange, and this should be secured via a s106 Agreement and based on the latest cost estimate would be circa £1.7M.

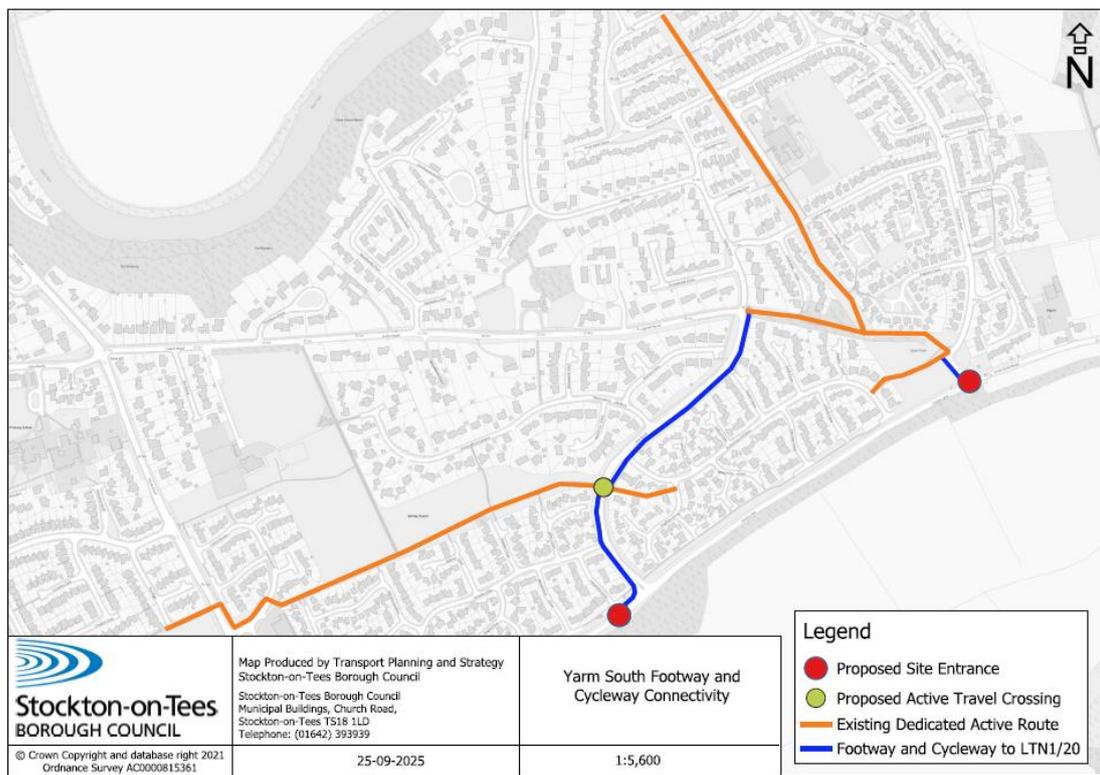
The site would be access via two new signalised junctions on Green Lane located at the eastern end of the site opposite Glaisdale Road and the western end of the site to the west of Kirk Road.

The site access arrangements, as shown on drawings 0750-F11 Rev E and 0750-F13 Rev F, are considered to be broadly acceptable and, should the application be approved, the detailed design of the junctions would be considered as a part of the s278 process and delivery would be agreed through a phasing programme.

Both junctions will incorporate pedestrian and cycle crossing facilities which would provide access to the existing footway / cycleway network.

To achieve the required connectivity to the existing cycleway network new sections of cycleway will be required on Kirk Road and Glaisdale Road and a new active travel crossing on Kirk Road. The extent of the works, which should be secured via a s106 Agreement, are shown on the figure below.

Proposed New Cycleway Connections and Active Travel Crossing



In order to further improve the sustainability of the proposed development the applicant has engaged with Arriva regarding the diversion or extension of an existing service to service the site. Arriva have indicated that the cost of this would be circa £200K to cover the existing hours of operation or up to £250K if later evening journeys were required. The details of the bus service and payment for the diversion / extension should be secure via a 106 Agreement for a minimum period of 5 years however, it should be noted that any financial contribution should be paid directly to the operator. A construction traffic management plan should also be secured by condition in order to minimise disruption during the construction phase. Subject to the above conditions and s106 requirements there are no highways objections to the proposals.

10. Flood Risk Management

The applicant has provided sufficient information to satisfy the Local Lead Flood Authority that a surface water runoff solution can be achieved without increasing existing flood risk to the site or the surrounding area. However the applicant has not provided a detailed design for the management of surface water runoff from the proposed development, and this information should be secured by condition

11. Landscape Comments

A LVIA has been provided which is informative. The key impacts will be on the site and its immediate surroundings. An Assessment of Landscape impacts on the site and its immediate surroundings equates to Landscape receptor, Character Area 2. This has been assessed as slight (year 1), slight- moderate (year15). The summary of visual effects on Viewpoints provided is generally acceptable given the methodology provided.

The proposed development is outside of the limits to development and as such is poorly related to the existing settlement and represents an incursion into open countryside. The extent to which the proposals would be likely to conflict with policies dealing with landscape and visual matters and the weight that should be attached to them is a matter for your judgement. I would make the following comments

The proposed development would be unlikely to comply with Policies SD3, SD4 and SD5.

A landscape strategy has been provided which provided for a hierarchy of streets and POS. Should development be deemed acceptable the following landscape information should be considered.

- Subject to an agreed layout, full details of hard and soft landscape proposals shall be provided prior to any consent being given. Hard landscape details should include all enclosing elements, street furniture and street lighting locations. Details of external finishing materials should include finished levels, and all construction details confirming materials, colours, finishes and fixings. Soft Landscaping details should include a detailed planting plan and specification of works indicating soil depths, plant species, numbers, densities, locations inter relationship of plants, stock size and type, grass, and planting methods including construction techniques for pits in hard surfacing and root barriers. Details of rabbit protection should be provided. All existing or proposed utility services that may influence proposed tree planting shall be indicated on the planting plan.
- Details of proposed soft landscape management should be provided. The soft landscape management plan shall include long term design objectives, management responsibilities and maintenance schedules for all landscape areas/ retained vegetation, other than small privately owned domestic garden. Landscape maintenance shall be detailed for the initial 5-year establishment from date of completion of the total scheme regardless of any phased development period followed by a long-term management plan for a period of 20 years.
- There may be scope to increase proposed buffer planting to the southern boundary of the site by planting a proportion of the suds basins (subject to Drainage comments) This could potentially soften the engineered approach to basins.

12. Active Travel England

Background: Active Travel England (ATE) welcomes the opportunity to comment on the ATE/25/00989/OUT planning application and welcomes the comprehensive engagement on the response from the Applicant. This is ATE's third involvement with the proposed development. ATE has considered the application against the criteria set out in its planning assessment toolkit, national planning policy and active travel design guidance. With regards to the aligned assessment criteria, various issues have been identified. ATE has acknowledged the additional information provided by the response from 18 September 2025 but is currently not in position to recommend a conditional approval for this application for reasons outlined in this report.

Trip generation assessment and mode shares: ATE welcomes the Applicant providing a forecasted multi-modal trip generation for the proposed residential development by using TRICS database data in Table 3.1 (Response to ATE Comments, p. 12). While the splits are daily and include cycle, motorised vehicle, pedestrian and public transport trips separately, ATE requests that the Applicant considers proposed active travel infrastructure improvements discussed in Section 3.0 as a factor in predicting mode shares. As stipulated in LTN 1/20:14.3.6, it is important that the forecast does not overestimate motor traffic travel demands, which could make it difficult to provide well-designed cycle infrastructure, particularly at the site access points. Travel demand forecasts should take into account the potential for the increased levels of cycling that will be enabled by cycle facilities, both on- and off-site.

While ATE understands that the Applicant considers the Travel Plan as a framework document, ATE cannot accept the modal share forecast Table 3.1 as sufficient as modal share targets. It should be noted that as these modal share targets have not been developed with regard to the Tees Valley LCWIP and any other plans, this sets an incredibly low-bar against which to compare the performance of the development.

Accordingly, this risks a car reliance of 81% being considered a success, when in fact the targets were never that challenging in the first place. The very principle of a vision-led approach to transport planning is to forecast - and most importantly - deliver the necessary infrastructure for the future that is desired, as opposed to needing to take retrospective action after development delivery and once patterns of car reliance have been adopted and ingrained within the new community.

Off-site infrastructure :ATE welcomes the Applicant providing a comprehensive and high-quality pedestrian and cycle route audit, which clearly identifies issues with existing infrastructure and suggested improvements. While ATE endorses these improvements in principle, ATE has the following comments from provided drawings: Drawing Number 0750-F11 Revision D: ATE acknowledges the introduction on Advanced Strop lines at junctions as a temporary measure before infrastructure along Green Lane is developed by the Local Transport Authority, but stresses that the Applicant needs to verify whether this solution meets criteria for ASLs in LTN 1/20: 10.6.44. On street cycling will only be safe and accessible for most people (LTN 1/20 Table 4.1) if the speed limit on the spine road matches Glaisdale Raid at 20 mph. ATE requests that the Applicant provides a traffic signal phase diagram to demonstrate that cycle movements in all directions at this junction are protected and prioritized (eg., through early release signals), allowing cyclists to complete their movements safely before interacting with motor traffic. Given the Highway Code road user hierarchy, ATE requests that the applicant replaces staggered crossings with single-phase crossings as a way of promising pedestrian movements at the junction. Traffic Signs Manual Chapter 6: 18.3 (p. 132) advises that staggered crossings are typically used on wide roads where a single-stage crossing would be impractical or unsafe due to the time required for pedestrians to cross. Designers are advised to consider pedestrian desire lines and avoid staggered layouts where a direct crossing is feasible and safe, which ATE considers to be the case at this junction.

Drawing Numbers 0750-F12 and 0750-F13 Revision F: To futureproof the design and ensure alignment with best practice, ATE recommends changes attached in the attached annotated drawing 0750-F13 Revision F. These changes would improve clarity, safety, and long-term viability of the route as part of the LCWIP network. ATE requests that the Applicant shares the details of proposed wayfinding improvements to Leven Park with the Local Authority and ATE. ATE also highlights that the provision of lighting by the Applicant is inconsistent across proposals, with the Applicant offering lighting in Drawing Number 0750-09 to improve the footpath link on the northern side of Green Lane, keeps the traffic-free footway/cycleway in Drawing Number 0750-05 due to the fact that 'it is not for this development to provide a complete scheme of lighting... and in any event these journeys are all likely to be undertaken during daylight hours'. ATE reiterates that the discussed footway/cycleway is part of the route to Levendale Primary School, which children living in the development will be likely to attend. Year-round trips from Levendale Primary School will be made at dusk in winter, so it is necessary to light the route – see LTN 1/20 8.1.2 and 8.7 for guidance.

The Local Authority has been directly made aware of this issue and ATE encourages the Applicant to liaise with the local authority to consider a S278 agreement.

ATE acknowledges the Applicant's comments on number 7 bus diversion.

Masterplanning and permeability: ATE acknowledges that the current 40 mph speed limit on Green Lane presents challenges for creating active frontages and direct pedestrian and cycle connections. While the retention of the tree belt and hedgerow may offer visual and acoustic buffering, ATE advises that this should not result in the complete severance of the development from Green Lane. Instead, ATE requests that the Applicant explore filtered permeability options such as well-landscaped pedestrian and cycle links that respect TPO constraints while enabling legible and safe access to the wider movement network. These connections need not compromise the character

of Green Lane but should support inclusive design and natural surveillance, as outlined in the National Design Guide and LTN 1/20. ATE further notes the Applicant's intention to use the tree belt as a placemaking feature, but advises that visual separation alone does not create meaningful character. It risks reinforcing a boundary condition that disconnects the development from its context. The suggestion that severance will prevent the site from becoming an extension of adjacent residential areas is unconvincing, particularly given that both sides of Green Lane are defined by low-density suburban layouts. Character should be shaped by the quality of public realm, permeability, and active frontage, not isolation. The tree belt can still contribute positively to placemaking but should be integrated into a design that enables movement, visibility, and interaction with Green Lane. ATE requests that the Applicant reconsiders the role of the tree belt not as a barrier, but as a landscape asset that supports a well-connected, legible development.

ATE acknowledges the Applicant's intention to create an attractive primary route through the site, but advises that the current proposal focuses on streetscape rather than placemaking. Features such as tree-lined verges, set-back driveways, and footpaths contribute to visual quality but do not create a street with active uses, destinations, or opportunities for gathering. If this route is to function as a residential 'high street', it must support medium to high place function throughout its length, as outlined in Manual for Streets (p. 19). ATE recommends referring to Example 53 in the National Model Design Code Part 2 (p. 53), and exploring the inclusion of pocket parks, seating areas, incidental play, small-scale community uses, or flexible spaces for local services to encourage interaction and dwell time.

On site facilities: ATE acknowledges the location change of the mobility hub.

Next Steps: ATE requests that the local planning authority shares this correspondence with the applicant and their agents. ATE would welcome the opportunity to review further submitted information to help address the identified deficiencies as detailed above, with a view to providing a further response and recommended conditions.

13. Natural England

No objection - subject to appropriate mitigation being secured.

14. Environmental Health Unit

I have no objection in principle to the development, subject to the imposition of the construction/demolition noise advisory condition:

Noise : I have reviewed the submitted noise impact assessment and note this application is an outline application whereby the final design is unknown. It is stated within the report that without mitigation measures:

- External noise levels are exceed
- Internal noise levels are exceed
- Overheating assessment exceeds the simplified method and requires further assessment, recommend building control are also consulted as it relates to Approved Document O of Building Regulations.

The report proposes mitigation measures such as placing gardens to the rear of properties, acoustic fences, glazing and trickle ventilators. The report advises that the final number of ventilators should be confirmed by a project mechanical and electrical engineer with the values in table 5.2 to be considered. The report also details that a final plot-by-plot assessment for glazing and ventilation should be undertaken once the final design is known, including the final internal layout of the properties. It is concluded that the site is suitable for development in terms of meeting acoustic requirements with mitigation measures in place, however further detailed assessments should be undertaken at reserved matters stage once layout of the site is known.

Environmental Health would therefore request a detailed noise impact assessment be submitted during the reserved matters stage once final detail is known. The detailed design should also consider the noise impact of the proposed play spaces to the south east of the proposal. The necessity for this noise impact assessment should be conditioned. Should mechanical ventilation be required at the reserved matters stage there shall be compliance with the condition below whereby external noise entering dwellings is combined with internal noise from mechanical sources to cumulatively still active the requirements detailed below:

Acoustic, Ventilation, Overheating Design

If BS8233 internal noise levels cannot be achieved with openable windows then the developer needs to consider implementing good acoustic design as required within ProPG, <https://www.ioa.org.uk/publications/propg> such as the following:

- Increase distance away from the noise source
- Layout/ orientation of properties and amenity areas
- Internal layout of properties so liveable rooms and main bedrooms are situated furthest away from the noise source.
- Acoustic Fencing/ mounding

Where the above have been considered and there is still a requirement for windows to be closed to achieve BS8233 internal noise levels an Acoustic, Ventilation and Overheating assessment should be undertaken. The assessments and any required acoustic mitigation measures should be interlinked. An internal assessment should also be made of any noise emitted from mechanical ventilation plant (if required) which when in use should not exceed internal noise levels specified within BS8233, or the following:

- Living Rooms (Day and Night-time) - NR30
- Bedroom (Daytime)- NR30
- Bedrooms (Night-time)- NR25

I would also recommend the following condition:

o Construction Noise Report

A noise report for construction noise should be undertaken by a noise consultant and should be submitted to and approved in writing by the Local Planning Authority prior to any construction work commencing. As part of the noise report the existing ambient noise levels at the nearest residential properties should be obtained and the noise levels of each proposed construction activity to be undertaken should be calculated to the nearest residential properties. The assessment and impact of the construction noise should be undertaken in accordance with the ABC method and table E.1 of BS5228 where the ambient noise level should be rounded to the nearest 5dB to determine the appropriate threshold value. Suitable mitigation measures should be implemented where the construction noise is predicted to exceed the appropriate threshold value.

Air Quality Assessment - I have reviewed the air quality assessment and have no comments to make on it other than the measures detailed such as mitigation measures for operational use and construction dust should be implemented and in place for the lifetime of the development.

Contaminated Land Conditions: I have assessed the application and as the application is for a vulnerable end use (residential) an assessment of contaminated land should be undertaken. This should be undertaken using a staged assessment with the following components being approved by the local authority before proceeding to the next stage. PRA condition recommended.

13. Tees Archaeology

Thank you for the additional consultation on this application. Following discussions with the site's archaeological consultant, a programme of trial trenching has been conducted in those areas identified by the geophysical survey as having archaeological potential and an interim report submitted. The recent and previous archaeological evaluations have identified prehistoric and Roman activity on site, and further archaeological mitigation is needed in these areas. Trial trenching should be conducted across the remainder of the site, to ascertain the presence/absence of archaeological remains along with their level of preservation and significance; it may be that additional mitigation measures are needed in other parts of the site. The necessary archaeological work can be secured by conditions upon the development; we set out the wording of these proposed conditions.

14. Yarm Town Council

On behalf of Yarm Town Council, we wish to register our objection to the above application on the following grounds:

- Development outside the defined development limits as shown in the Local Plan
- Highway Impacts
- Impact on local infrastructure
- Design grounds

Development outside of the settlement limits - The Planning and Compulsory Purchase Act 2004 requires planning applications to be determined in accordance with the Development Plan unless material considerations indicate otherwise.

Stockton Borough Council Local Plan clearly sets out the development limits for the Borough. As the application relates to land beyond the development limits, it is therefore, contrary to the Local Plan.

The proposal intensifies the development around Yarm and impacts the character of the Town.

The application fails to demonstrate a 'need' for this development and the cumulative impact on the Town, highways network and infrastructure.

While we appreciate each application is assessed on its own merit, it is incumbent on Stockton Borough Council to assess the need in this location and the overall impact on existing amenity of the residents of Yarm, Eaglescliffe and Kirklevington.

As we understand it is a legal requirement for authorities to have a five-year housing supply plan to ensure considered development within their boroughs. While Stockton appears to have a Housing Supply & Delivery: Annual Position Statement 2024/25 to 2028/29, they state that they do not have an adopted supply plan. This is enabling developers to take advantage to propose poorly considered and located development to the detriment of existing towns/villages.

The NPPF promotes conserving and enhancing the natural environment. Planning decisions should contribute to and enhance the natural and local environment.

Minimal assessment over the long-term loss of green open space is addressed as part of the application. Nutrient Neutrality, BNG and The Ecological Impacts should be robust documents to clearly demonstrate positive gains and/or enhancements.

Highways Impacts - The NPPF promotes sustainable transport. The Government promotes the provision of sustainable transport modes which are determined through the analysis of patterns of movement, streets, parking and other transport considerations which are integral to the design of schemes and contribute to making high quality places.

We consider Highways assessments are flawed, in that they only look at the impact the application development has on the network in the immediate area. Applications fail to look at the cumulative impact of the developments on the existing infrastructure which were not originally designed to accommodate the increased levels of usage.

The Transport Statement does not consider Yarm and Eaglescliffe topography, in that it has only one main road linking the towns across the River Tees. This is not considered by developers or SBC Highways Dept when reviewing the impact of the additional car trips. Travel hubs, car sharing and cycling, while admirable objectives as policies, are rarely implemented or used in reality, rendering them little more than a planning exercise.

National Highway/Highways Agency have expressed concern and lack of support for developments due lack of detail to clearly demonstrate mitigation for the increase in traffic. Poor pedestrian and cycling links make the site unsustainable due to extended travel distances.

Local Infrastructure - The NPPF promotes healthy and safe communities and gives support to facilitate social interaction and create healthy, inclusive communities. Developments should be safe and accessible; Local Planning Authorities should plan positively for the provision and use of shared space and community facilities. An integrated approach to considering the location of housing, economic uses and services should be adopted.

Yarm Medical centre would need to demonstrate the number of doctors, patients' numbers and capacity for available appointments. Anecdotal evidence suggests the Practice struggles to service the current population; without due consideration of the additional developments and the added pressures these would bring to bear on existing infrastructure.

It should also be demonstrated that local schools' places, external play areas and structured activities have capacity/provided. Any external communal green spaces should be carefully integrated into designs and not token left-over spaces. These should be assessed and provided without the need to travel significant distances, further impacting on the road network.

Design - The NPPF promotes achieving well-designed places. The Government attaches great importance to the design of the built environment, with good design a key aspect of sustainable development, indivisible from good planning.

The Government on the 6th of March 2014 launched its 'Planning Practice Guidance' (PPG). The PPG contains guidance on a wide range of planning issues including the processing and consideration of planning applications for development proposals. One of the key issues in the PPG is design, acknowledging that 'good quality design is an integral part of sustainable development ... Good design responds in a practical and creative way to both the function and identity of a place. It puts land, water, drainage, energy, community, economic, infrastructure and other such resources to the best possible use-over the long as well as the short term.'

With reference to paragraph 11 of the NPPF, it is important to note that for decision-making this means:

-Approving development proposals that accord with an up-to-date development plan without delay; or

-Where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date, granting permission unless the application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed; or any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole, having particular regard to key policies for directing development to sustainable locations, making effective use of land, securing well-designed places and providing affordable homes, individually or in combination.

As the Council cannot demonstrate a five-year supply of deliverable housing sites, the policies which relate to the delivery of housing, are deemed to be out of date and as such paragraph 11d) of the Framework is engaged.

We consider that the proposal would result in adverse impacts that would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework taken as a whole, having particular regard to key policies for directing development to sustainable locations, making effective use of land, securing well-designed places and providing affordable homes, individually or in combination, the proposal should be refused.

SBC, as the lead authority, should ensure the highest design standards to avoid generic urban sprawl. The design should demonstrate a sense of place, scale and density both in relation to the Town and location. The layout and house type designs should respond to the rural locations and integrate 'green' routes and areas within the overall design. The application does not provide a cohesive design that responds to the context, only to achieve a 20-25 dwellings/hectare density, which should be too high for the location of the application site. It is incumbent on the LPA to ensure good design and a cohesive vision for any development and adjacent developments. The temporary construction jobs and potential council tax revenue should not be used as a design guide to justify poor design. We have attached a diagrammatic development plan, showing the recently built and proposed housing schemes. As a visual aid, this clearly demonstrates the negative impact volume house building has had in terms of urban sprawl, rapid population increase and associated impact on infrastructure on the historic Town. This is available for Planning committee to review at Appendix E

To summarise, the application has failed to demonstrate a need for the development, to fully assess the impact on the road and services infrastructure and would provide an overall poor design which does not respond positively to its location. We consider the proposed application to be inappropriate in this location and would have a detrimental impact on the overall character of Yarm.

15. Hilton Parish Council

I wish to object to this planning application for the following reasons:

This proposed development will sit in the very small rural area of Castleavington which at this present time has only 11 dwellings and is within the southern villages ward.

Commuters -The proposed development will clearly be occupied by commuters as there is little to no employment in the area.

Green Lane/A67 - The existing volume of traffic causes major issues for drivers exiting Leven Park via Kirk Road and Kirklevington Village at peak times at this present time and any additional traffic will result in no vehicles being able to exit from both Leven Park or Kirklevington village.

Traffic Lights Green Lane - The installation of traffic lights will only exacerbate the queuing traffic at peak times and slow down traffic. Queuing on Leven Bank is already a major problem to drivers. Traffic will clearly back up to the Crossroads roundabout and beyond causing grid lock.

Peak Times - Morning peak times commences at around 7.30a.m. until 9.15am. and evening peak times commence at 2.30p.m. until 6.30p.m. This is due to the many schools within close proximity to Green Lane. Conyers school are about to change their finish time to 3.15p.m. so we could see the peak start time on an evening moving to 2.00p.m.

A67 Kirklevington village drivers' access - With the ever increasing number of vehicles using the A67 to access the A19 drivers from Kirklevington Village find themselves taking risks when trying to join the traffic. If Stockton Borough are mindful to approve this application, as part of this application traffic controls will need to be put in place at Kirklevington village. This will also be a problem to other areas that will need to be taken into consideration.

A19 escape route - The A67 and Green Lane are a recognized escape route for traffic as and when there is an incident on the A19 that halts the traffic. A recent coach fire on the A19 demonstrates the need for this route to be available to A19 vehicles. This is a regular occurrence.

Trees and hedges green lane - The trees and hedges on Green Lane must not be cut or disturbed in any way. They are an important habitat for birds and other animals.

Green belt/wildlife corridor - this land is extensively used by many wild animals that make their way down to the river leven to access water

Doctors, dentists - will funding be made available to the doctors surgery at Yarm health clinic to expand its services patients' are already being given appointments in Ingleby Barwick due to the lack of appointment places available at Yarm and no evening and weekend services (personally had to go to Ingleby Barwick for an appointment). will more dental places be made available?)

Yarm high street - whilst this is a vibrant and well used high street more and more cars needing to park will only result in residents avoiding Yarm and shopping elsewhere. parking is at capacity already. not all bus routes cover the surrounding areas to allow for residents to access via bus.

Schools - primary - with the already large number of new homes been built on green lane and within Kirklevington village will there be adequate school places made available? can we expect to see the building of additional classrooms or will we find, once again, children having to be catered for in other areas? secondary - Conyers school provides education for students from Yarm, Kirklevington, Castleavington, Ingleby Barwick, Hilton, Maltby and many other areas with many arriving by coach along green lane.

Preschool childcare - this is already limited within the area and mainly based on the high street in Yarm which is already a challenge to parents to access due to the volume of traffic travelling through Yarm throughout the day. what additional facilities will be made available?

Sixth form college - to the south of Stockton borough there are only two state sixth forms - Conyers and Egglecliffe. these cater for students from Yarm, Eaglescliffe, Thornaby, Ingleby Barwick, Hilton, Maltby, Kirklevington, Castleavington and Yarm etc. green lane is the access route for the majority of students attending both these schools.

Employment - there is little to no employment in this area with most working adults having to commute to their places of work mainly via the A19. 600 dwellings x 2 = 1,200 vehicles at a rough estimate and it could be significantly more.

Transport - train -whilst there is a train close by there is no continuous footpath south of green lane which links to the railway station if accessing by foot. bus - at this present time no bus runs along green lane. cycle -there are no cycle routes along green lane nor along the a67. walking - as mentioned before there is no continuous footpath on the southern edge of green lane to allow for a safe route to access schools and, in some parts, not possible to build due gardens fronted up to the road.

Services - electricity which regularly goes off in the area. broadband - we already know that the exchange in Eaglescliffe cannot cater for all residents requiring super-fast fibre broadband and needs to be significantly upgraded. water - once again the supply regularly goes off. sewage - hopefully the present system can now cope with such a large development.

16. Lead Local Flood Authority

The applicant has provided sufficient information to satisfy the Local Lead Flood Authority that a surface water runoff solution can be achieved without increasing existing flood risk to the site or the surrounding area. However, the applicant has not

provided a detailed design for the management of surface water runoff from the proposed development and this information should be secured by condition.

17. Northern Gas Networks

We do not object

18. Northern Powergrid

At present, the electricity network in this area has limited capacity to support additional homes without upgrades. However, all applications will be reviewed as we work closely with you to deliver the necessary infrastructure.

19. National Grid

Regarding planning application 25/1330/OUT, there are no National Grid Electricity Transmission assets affected in this area.

20. SBC Housing Services Manager

Housing Need and Policy Context: The Planning Statement confirms a 20% affordable housing contribution (120 homes), which aligns with Policy H4 of the Local Plan.

Key information required includes - Tenure split on a colour-coded site plan (will not be approved). Strong preference for a minimum of 70% affordable or social rented and up to 30% intermediate, but excluding Discount for Market Sale and First Homes.

Dispersal of affordable units across the site with the objective of creating a "tenure blind" development. Name of the preferred Registered Provider partner or named contact for who will manage the affordable homes. The affordable housing offer should be proportionally representative of the overall proposed housing and include proportions of all property types i.e. if larger family homes or accessible homes are proposed (4beds+ or bungalows) there is an expectation that these will form an element of the affordable housing offer (20%). Particular service demand for 1 bed dwellings in small clusters (up to 6 units in a single location) but without any communal space and all having independent entrances (front doors). Identification of any service charge costs associated with the affordable homes i.e. in relation to any unadopted areas. An indicative forward delivery timeframe for all affordable dwellings. Proposed sales prices for any affordable dwellings that will be made available for intermediate sale.

21. SBC Place Development Manager

Thank you for consulting Place Development on this application. The application seeks outline consent with all matters reserved except access, for up to 600 dwellings in Yarm. We are happy to discuss the nature of our comments with the applicant.

The Stockton-on-Tees Local Design Guide was adopted in March 2023 and presents a 'design process' to ensure the design response of a proposal has been robustly considered. This process begins with a contextual analysis and site appraisal which are utilised to develop a strategic framework plan for a site. From these proposals can be developed and refined. The Local Design Guide can be viewed at Supplementary planning documents - Stockton-on-Tees Borough Council. It is noted that a design and access statement has been included, including a strategic framework plan that indicates the high level principles of development. This should be developed further to a Design Code for the site prior to the submission of a reserved matters application. It is recommended that this requirement be controlled through inclusion of a condition. The design code should be informed by the Local Design guide SPD. The following comments are to guide the applicant in further detailed design:

Placemaking needs to be designed in a holistic manner, incorporating green space, public realm, built form, street layout, parking strategy and SUDs design.

Gateways, nodes, and squares are important points within the scheme to aid legibility, support areas of local activity and creating a character of place. These elements should be identified within the framework plan. Both the hard and soft landscaping should be carefully considered. A varied palette of materials should be included to develop character areas and identify street hierarchy.

It is encouraged that there is a varied approach to car parking where possible, avoiding an overreliance of frontage parking as this can be detrimental to the street scene. Reliance on "stock" house types without consideration for the local character is discouraged, dwellings should be designed with a complementary palette of materials, massing and form fitting the local context to create a characterful and legible scheme.

22. The Environment Agency

Environment Agency position: We have assessed supporting information and confirm that we have no objection to the planning application as submitted subject to the inclusion of the following planning conditions on any planning permission -

Construction Environment Management Plan (CEMP)

The development hereby permitted shall not be commenced until such time as a Construction Environment Management Plan has been submitted to, and approved in writing by, the local planning authority. The scheme shall be implemented as approved. The plan should include, but not limited to, the following:

- o Treatment and removal of suspended solids from surface water run-off during construction works;

- o Approach to ensure no sewage pollution or misconnections;

- o Approach to ensure water mains are not damaged during construction works;

- o Management of fuel and chemical spills during construction and operation, including the process in place to ensure the environment is not detrimentally impacted in the event of a spill;

Reasons This approach is supported by paragraph 187 of the National Planning Policy Framework (NPPF) which recognises that planning should contribute to and enhance the environment by preventing new and existing development from contributing to, being put at unacceptable risk from, or being adversely affected by, unacceptable levels of soil, air, water or noise pollution or land instability.

Development should, wherever possible, help to improve local environmental conditions such as air and water quality, taking into account relevant information such as river basin management plans.

This approach is also supported by the Planning Practice Guidance (PPG) for water supply, wastewater and water quality, which recognises that the Water Environment Regulations 2017 set out requirements to prevent the deterioration of aquatic ecosystems; protect, enhance and restore water bodies to 'good' status; and achieve compliance with standards and objectives for protected areas. Local planning authorities must, in exercising their functions, have regard to River Basin Management Plans. These plans contain the main issues for the water environment and the actions needed to tackle them.

The Northumbria river basin management plan requires the restoration and enhancement of water bodies to prevent deterioration and promote recovery of water bodies. Without this condition, the impact could cause the deterioration of a quality element to a lower status class because it would result in the elevation of suspended sediments and hazardous substances. This could have significant implications for WFD status and ecology.

Condition - Water Framework Directive (WFD) assessment The development hereby permitted shall not be commenced until such time as a Water Framework Directive Assessment has been submitted to, and approved in writing by, the local planning authority.

Reasons This approach is supported by paragraph 187 of the National Planning Policy Framework (NPPF) which recognises that planning should contribute to and enhance the environment by preventing new and existing development from contributing to, being put at unacceptable risk from, or being adversely affected by, unacceptable levels of soil, air, water or noise pollution or land instability. Development should, wherever possible, help to improve local environmental conditions such as air and water quality, considering relevant information such as river basin management plans. This approach is also supported by the Planning Practice Guidance (PPG) for water supply, wastewater, and water quality, which recognises that the Water Environment Regulations 2017 set out requirements to prevent the deterioration of aquatic ecosystems; protect, enhance and restore water bodies to 'good' status; and achieve compliance with standards and objectives for protected areas. Local planning authorities must, in exercising their functions, have regard to River Basin Management Plans. These plans contain the main issues for the water environment and the actions needed to tackle them.

The Water Environment (Water Framework Directive) Regulations 2017 and the Northumbria River Basin Management Plan requires the restoration and enhancement of water bodies to prevent deterioration and promote recovery of water bodies. It specifically states that no waterbody should deteriorate in status and aim to achieve Good Status or Good Ecological Potential as soon as is reasonably practical. Any proposed plan or development should not contradict the Northumbria River Basin Management Plan. Without this condition, the impact could cause deterioration of the Water Framework Directive status of the Leven from Tame to River Tees waterbody (GB103025071880). The Leven from Tame to River Tees waterbody (GB103025071880) has an overall status of Moderate.

Informative: The applicant should provide an assessment of the impact of the proposal on water quality in respect to the Leven from Tame to River Tees waterbody (GB103025071880) following the objectives of WFD guidance:

Stage 1 - WFD screening: to determine if there are any activities associated with the Proposed Development that don't require further consideration, for example activities which have been ongoing since before the current RBMP plan cycle and which have thus formed part of the baseline.

Stage 2 - WFD scoping: to identify risks of the proposed development's activities to receptors based on the relevant water bodies and their water quality elements (including information on status, objectives, and the parameters for each water body).

Stage 3 - WFD impact assessment: a detailed assessment of water bodies and their quality elements that are considered likely to be affected by the Proposed Development, identification of any areas of non-compliance; consideration of mitigation measures, enhancements, and contributions to the RBMP objectives. Where the potential for deterioration of water bodies is identified, and it is not possible to mitigate the impacts to a level where deterioration can be avoided, the project would need to be assessed in the context of Article 4.7 of the Directive.

More information can be found on the gov.uk website:

<https://www.gov.uk/guidance/water-framework-directive-assessment-estuarine-and-coastal-waters>

We also have the following comments to make.

Water Quality Permit Requirements - advice to applicant You do not require a permit if you are only discharging uncontaminated surface runoff. If you intend to discharge to surface water for dewatering purposes, this may be covered by a Regulatory Position Statement (RPS) for water discharge activities. If you can comply with all of the conditions within the RPS, then a permit is not required for this activity. Please find the RPS conditions here: Temporary dewatering from excavations to surface water - GOV.UK (www.gov.uk)

If any discharges do not fully comply with the RPS, then a bespoke discharge permit will be required. Please find guidance on applying for a bespoke water discharge permit here: Discharges to surface water and groundwater: environmental permits - GOV.UK (www.gov.uk) The linked page also provides contact information should you need assistance.

Sustainable Urban Drainage Systems (SuDS) - advice to applicant Surface water run-off should be controlled as near to its source as possible through a sustainable drainage approach to surface water management (SuDS). SuDS manage surface water run-off by simulating natural drainage systems. Whereas traditional drainage approaches pipe water off-site as quickly as possible, SuDS retain water on or near to the site. As well as reducing flood risk, this promotes groundwater recharge, helps absorb diffuse pollutants, and improves water quality. Ponds, reedbeds and seasonally flooded grasslands can also be particularly attractive features within public open spaces.

SuDS involve a range of techniques including soakaways, infiltration trenches, permeable pavements, grassed swales, green roofs, ponds and wetlands. As such, virtually any development should be able to include a scheme based around these principles. In doing so, they'll provide multiple benefits and will reduce costs and maintenance needs.

Approved Document Part H of the Building Regulations 2010 establishes a hierarchy for surface water disposal, and encourages a SuDS approach. The first option for surface water disposal should be the use of SuDS, which encourage infiltration such as soakaways or infiltration trenches. In all cases, it should be established that these options are feasible, can be adopted and properly maintained and would not lead to any other environmental problems. For example, using soakaways or other infiltration methods on contaminated land carries pollution risks and may not work in areas with a high water table. Where the intention is to dispose to soakaway, these should be shown to work through an appropriate assessment carried out under Building Research Establishment (BRE) Digest 365.

Further information on SuDS can be found in: o the CIRIA C697 document SuDS manual o HR Wallingford SR 666 Use of SuDS in high density developments o CIRIA C635 Designing for exceedance in urban drainage - good practice o the Interim Code of Practice for Sustainable Drainage Systems - the Interim Code of Practice provides advice on design, adoption and maintenance issues and a full overview of other technical guidance on SuDS Water Resources-advice to applicant If you intend to abstract more than 20 cubic metres of water per day from a surface water source e.g. a stream or from underground strata (via borehole or well) for any particular purpose then you will need an abstraction licence from the Environment Agency. There is no guarantee that a licence will be granted as this is dependent on available water resources and existing protected rights.

Dewatering is the removal/abstraction of water (predominantly, but not confined to, groundwater) in order to locally lower water levels near the excavation. This can allow operations to take place, such as mining, quarrying, building, engineering works or other operations, whether underground or on the surface.

The dewatering activities on-site could have an impact upon local wells, water supplies and/or nearby watercourses and environmental interests.

This activity was previously exempt from requiring an abstraction licence. Since 1 January 2018, most cases of new planned dewatering operations above 20 cubic metres a day will require a water abstraction licence from us prior to the commencement of dewatering activities at the site.

More information is available on gov.uk: <https://www.gov.uk/guidance/water-management-apply-for-a-water-abstraction-or-impoundment-licence#apply-for-a-licence-for-a-previously-exempt-abstraction>

23. NHS

Please see below our response from NHS ICB North East & North Cumbria. Request S106 funds: I am writing in response to the above planning application currently being evaluated by you. Please see below for the required contribution to healthcare should the scheme be approved. Local surgeries are part of ICB wide plans to improve GP access and would be the likely beneficiaries of any S106 funds secured. Local GP Practices are keen to maintain/improve their access, and an increase in patient numbers may require adjustments to existing premises/access methods. Please be advised that we would be unable to guarantee to provide sustainable health services in these areas in future, should contributions not be upheld by developers. In calculating developer contributions, we use the Premises Maxima guidance which is available publicly. This assumes a population growth rate of 2.3 people per new dwelling and we link this increase to the nearest practice to the development, for ease of calculation. We use the NHS Property Service build cost rate of £3,000 per square metre to calculate the total financial requirement. This reflects the current position based on information known at the time of responding. The NHS reserves the right however to review this if factors change before a final application is approved.

GP Practices affected Yarm Medical Centre

Local intelligence This practice falls within the BYTES Primary Care Network which is at full capacity with regards to space requirements to deliver services to their patient list size. S106 funding would support creating extra capacity for them to provide appropriate services to patients

- Number of Houses proposed 600
- Housing impact calculation 2.3
- Patient Impact (increase) 1380
- Maxima Multiplier 0.07
- Additional m2 required (increase in list x Maxima Multiplier) 96.6 m2
- Total Proposed Contribution £ (Additional m2 x £3kpm2, based on NHSPS build cost £289,800

24. Cleveland Police

With regards to your recent outline planning application 25/1330/OUT for up to 600 x Dwellings, Land at Green Lane, Yarm. Cleveland Police encourages applicants to build/refurbish developments incorporating the guidelines of Crime Prevention Through Environmental Design (CPTED). I would like to make you aware that Cleveland Police operate the "Secured by Design" initiative. This is a scheme which promotes the inclusion of architectural crime prevention measures into new projects and refurbishments. I recommend applicant actively seek Secured by Design accreditation; full information is available within the SBD Residential Guide 2025 Guide at www.securedbydesign.com. I encourage contact from applicant/agent at earliest opportunity, if SBD Certification is not achievable you may incorporate some of the measures to reduce the opportunities for crime and anti-social behaviour. Once a development has been completed the main opportunity to design out crime has gone. The local Designing Out Crime Officer should be contacted at the earliest opportunity, prior to submission and preferably at the design stage. The Secured by Design Residential Guide highlights that the concepts and approach adopted within this guide can be used to influence strategic planning policies, in support of Paragraph 102a of the NPPF. The National Planning Policy Framework 2024 paragraph 96(b), which states that Planning policies and decisions should aim to achieve healthy, inclusive, and safe places which are safe and accessible, so that crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion...The

National Planning Policy Framework 2024, paragraph 135(f) which states that "Planning policies and decisions should ensure that developments create places that are safe, inclusive and accessible... and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience". Stockton-on-Tees Borough Council Local Plan, Policy SD8 includes the following... All proposals will be designed with public safety and the desire to reduce crime in mind, incorporating, where appropriate, advice from the Health and Safety Executive, Secured by Design, or any other appropriate design standards.

Supplementary Planning Guide, Local Design Guide Section 3.6 and Sustainable Design Guide Section 4.9 also refer to Security & Safety. Another material consideration is Section 17 of The Crime and Disorder Act 1998. Further information on the Secured By design initiative can be found on www.securedbydesign.com Although not an SBD requirement, Stockton along with many other areas nationwide suffers from offences of metal theft. These include copper piping, boilers, cables and lead flashing. Buildings under construction are particularly vulnerable. I recommend that alternative products be utilized where possible. Many new builds are now using plastic piping where building regulations allow and alternative lead products. Strong consideration should also be given in relation to the provision of On- Site Security throughout the lifespan of the development. There is information contained within the Construction Site Security Guide 2021 also on the SBD website that may assist. In addition to the above and having viewed the proposal I would also add the following comments and recommendations.

All doors and windows are recommended to be to tested and certified PAS24: 2022 / 2016 standards (or equivalent) This includes garage doors. These must be dual certified for both fire and security. Dusk til dawn lights are recommended to each elevation with an external door-set. This also includes any proposed garage doors and side in curtilage parking areas, particularly those that are 50% or more of the length of side elevation of plot it serves. .ALL roadways and pathways, adopted or otherwise, are recommended to be to BS5489-1:2020 standards with a uniformity preferably to Secured by Design recommended one of 40%, as a minimum 25%. Neighbourhood permeability... is one of the community level design features most reliably linked to crime rates. Excessive permeability should be eliminated. On the proposed Illustrative Master Plan within the application, I would comment that the permeability as shown is excessive. All proposed side and rear treatments onto public realm are recommended to be to 2.0m in height. Those to rear/rear side of Plots backing onto open space recommended to be increased to minimum of 2.2m, preferably 2.4m. Defensive planting to external façade of boundary treatments backing onto open space should be considered also. Locate all side boundary treatments as far forward to the front elevations of the properties as possible to eliminate recesses. Boundary treatments between rear gardens are recommended to be 1.8m in height. Often these rear side treatments are proposed to be lower-level post and rail, this option offers neither security or privacy and I would recommend against it. Defensible space to each plot is an important consideration. Ginnel access serving several rear gardens should be avoided where possible. If they are deemed necessary, a lockable gate is required at initial access point as well as each individual garden. Any proposed PROW, informal pathways, cycle lanes etc. are to be incorporated into active street frontages to avoid creating potential crime generators. Any proposed links to existing or future phases of development are to be afforded maximum surveillance, be formalised and be fronted onto. Vehicles should either be parked in locked garages or on a hard standing within the dwelling boundary. Where communal parking areas are necessary, bays shall be sited in small groups, close and adjacent to homes, be within view of active rooms and clearly marked, so that it is obvious which parking spaces belong to which dwellings. The word 'active' in this sense means rooms in building

elevations from which there is direct and regular visual connection between the room and the street or parking court. Such visual connection can be expected from rooms such as kitchens and living rooms, but not from more private rooms, such as bedrooms and bathrooms. Rear parking courtyards are discouraged as they introduce access to rear elevations, which may leave dwellings vulnerable to burglary. In private developments, such areas are often left unlit and therefore increase the fear of crime. Ungated courtyards provide areas of concealment which can encourage anti-social behaviour. Where rear parking courtyards are considered absolutely necessary, they must be protected by a gate, the design of which shall be discussed with the DOCO at the earliest possible opportunity. Where gardens abut the parking area an appropriate boundary treatment should be discussed and agreed by the DOCO. again, the above lighting specification standards apply. In relation to any proposed play areas....Poorly designed and specified communal areas, such as playgrounds, toddler play areas, seating facilities have the potential to generate crime, the fear of crime and anti-social behaviour. These may often be referred to as: Local Areas of Play (LAP) - primarily for the under 6-year-olds.

Local Equipped Area for Play (LEAP) - primarily for children who are starting to play independently.

Neighbourhood Equipped Area of Play (NEAP) - primarily for older children.

Multi-Use Games Areas (MUGA) - primarily for older children.

Facilities should be designed to allow natural surveillance from nearby dwellings with safe and accessible routes for users to come and go.

Boundaries between public and private space should be clearly defined and open spaces must have features which prevent unauthorised vehicular access.

Communal spaces as described above should not immediately abut residential buildings.

The provision of inclusively designed public open amenity space, as an integral part of residential developments, should make a valuable contribution towards the quality of the development and the character of the neighbourhood.

To do this, it must be carefully located to suit its intended purpose - mere residual space unwanted by the developer is very unlikely to be acceptable. The open space must be inclusively designed with due regard for wayfinding, permeability and natural surveillance. Adequate mechanisms and resources must be put in place to ensure its satisfactory future management and maintenance.

Care should be taken to ensure that a lone dwelling will not be adversely affected by the location of the amenity space. It should be noted that positioning amenity/play space to the rear of dwellings can increase the potential for crime and complaints arising from increased noise and nuisance.

Play areas should ideally be designed so that they can be secured at night. This is to reduce the amount of damage and graffiti that occurs after dark. The type of fencing and security measures will need to vary to suit the area. However, consideration should be given to a single dedicated entry and exit point to enable parental/guardian control and supervision.

Fencing at a minimum height of 1.2m can often discourage casual entry, provide a safe clean play area, and reduce damage to the equipment.

The specific requirements such as child safeguarding, preventing dogs entering, etc. should be discussed with the DOCO.

Fixtures and fittings should be as resistant to damage and graffiti as possible.

25. Chief Fire Officer (Cleveland Fire Brigade)

Cleveland Fire Brigade offers no representations regarding the development as proposed. As a result of plans not detailing dwelling plots and access roads, accurate

assessment cannot be made against Approved Document B, Volume 1:2019, Section B5 for Dwellings. However Access and Water Supplies should meet the requirements as set out in: Approved Document B, Volume 1:2019, Section B5 for Dwellings. It should be noted that Cleveland Fire Brigade now utilise a Magirus Multistar Combined Aerial Rescue Pump (CARP) which has a vehicle weight of 18 tonnes. This is greater than the specified weight in AD B Vol 1 Section B5 Table 13.1.

Cleveland Fire Brigade also utilise Emergency Fire Appliances measuring 3.5m from wing mirror to wing mirror. This is greater than the minimum width of gateways specified in AD B Vol 1 Section B5 Table 13.1.

Cleveland Fire Brigade is fully committed to the installation of Automatic Fire Suppression Systems (AFSS) in all premises where their inclusion will support fire safety, we therefore recommend that as part of the submission the client consider the installation of sprinklers or a suitable alternative AFS system.

26. Sport England

Non-statutory planning advice: The proposed development does not fall within our statutory remit (Statutory Instrument 2015/595) and, therefore, Sport England has not provided a detailed response in this case but would wish to give the following advice to aid the assessment of the application. General planning guidance and advice can be found on our website: https://www.sportengland.org/how-we-can-help/facilities-and-planning/planning-for-sport#planning_applications

Loss of sports facilities: If the proposal involves the loss of any sports facility, then full consideration should be given to whether the proposal meets Paragraph 104 of the National Planning Policy Framework (NPPF), is in accordance with local plan policies to protect sport and recreation facilities, and whether it meets any approved Playing Pitch Strategy or Built Sports Facility Strategy that the local authority has in place.

New sports facilities : If the proposal involves the provision of a new sports facility, then consideration should be given to the recommendations and priorities set out in any approved Playing Pitch Strategy or Built Sports Facility Strategy that the local authority may have in place. In addition, to ensure they are fit for purpose, such facilities should be designed in accordance with design guidance notes produced by Sport England, or the relevant sport National Governing Body.

Design Guidance notes: <http://sportengland.org/facilities-planning/tools-guidance/design-and-cost-guidance/>

Meeting the needs of new housing: If the proposal involves the provision of additional housing, then it will generate additional demand for sport. If existing sports facilities do not have the capacity to absorb the additional demand, then new and/or improved sports facilities should be secured and delivered in accordance with any approved local policy for social infrastructure, and priorities set out in any Playing Pitch Strategy or Built Sports Facility Strategy that the local authority has in place. Our Sports Facility Calculator is a tool that can be used to estimate the additional demand for key community sports facilities from a new population and convert that demand into sport facility requirements with indicative costs. Guidance on how to use the tool is available on the link below. Sports Facility Calculator: <https://www.activeplacespower.com/>
Other relevant guidance, tools and contacts

Active Design: In line with the Government's NPPF (including Section 8) and PPG (Health and wellbeing section), consideration should also be given to how new development, especially new housing, will provide opportunities for people to lead healthy lifestyles and create healthy communities. Sport England's Active Design guidance can be used to help with this when developing or assessing a proposal. Active Design provides ten principles to help ensure the design and layout of development encourages and promotes participation in sport and physical activity.

NPPF Section 8: <https://www.gov.uk/guidance/national-planning-policy-framework/8-promoting-healthy-communities>

PPG Health and wellbeing section: <https://www.gov.uk/guidance/health-and-wellbeing>

Sport England's Active Design Guidance: <https://www.sportengland.org/how-we-can-help/facilities-and-planning/design-and-cost-guidance/active-design>

Planning conditions: We maintain a list of model planning conditions covering issues such as - creation of new playing field, compliance with design guidance notes, sports lighting and community use.

Community Use Agreements (CUA): Central Government wishes to see the availability of sports facilities to the wider community when they're not being utilised by the main user, as they see schools being at the heart of local communities. To help with this ambition we have developed a template community use agreement.

Planning Conditions and Community Use Agreements:

<https://www.sportengland.org/guidance-and-support/facilities-and-planning/planning-sport/planning-applications>

National Governing Bodies of Sport: Although Sport England is not in a position to provide a detailed response on this occasion, where relevant you may wish to consider advice provided by recognised sport National Governing Bodies (NGBs), a list of which is available on our website using the link below:

NGBs: https://www.sportengland.org/guidance-and-support/national-governing-bodies?section=expertise_advice_and_tools-section

27. Forestry Commission

No objection but provides the following information:

Ancient Woodlands (ASNW/PAWS) and Ancient & Veteran Trees (AVT): Ancient woodlands, and ancient & veteran trees, are irreplaceable. They have great value because they have a long history of woodland cover, with many features remaining undisturbed, including immensely complex ecological processes and relationships, above and below the ground. This applies equally to Ancient Semi Natural Woodland (ASNW), Plantations on Ancient Woodland Sites (PAWS) and ancient and veteran trees (AVT). It is Government policy to refuse development that will result in the loss or deterioration of irreplaceable habitats including ancient woodlands and/or ancient and veteran trees, unless “there are wholly exceptional reasons and a suitable compensation strategy exists” (NPPF paragraph 186c). It is not possible to fully compensate for the loss of irreplaceable habitat. The TCP (Consultation) (England) Direction 2024 (published January 2024) requires local planning authorities in England to consult the Secretary of State before granting planning permission for certain types of development, including development that affects ancient woodland: The Town and Country Planning (Consultation) (England) Direction 2024 - GOV.UK(www.gov.uk). The Application Page 31 of the Ecological Appraisal (OS Ecology, June 2025) states that the likely impacts of the proposed works are anticipated to be: Potential impacts on the East and West Gill Grassland LWS, Leven Bridge Grassland LWS and Spell Close Wood (Ancient Woodland) through increased recreational activity associated with a footpath link. Spell Close Wood ancient woodland is joined contiguously to the site via Priority Habitat (deciduous woodland), the loss or deterioration of which is likely to have a knock-on impact on the ancient woodland itself, and to other areas of ancient woodland more distant to the site. Spell Close Wood is also linked hydrologically and hydro ecologically to the application site, via East Gill, which runs from the site, through the woodland to the River Leven.

Joint Natural England and Forestry Commission Standing Advice on Ancient Woodland: For more information on the impacts of development on ancient woodland and how to assess these, please see the joint Forestry Commission /Natural England Standing Advice on Ancient Woodland –“Ancient woodland, ancient trees and veteran

trees: advice for making planning decisions”, the supporting guidance included within it, and Keepers of Time –A Statement of Policy for England’s Ancient and Native Woodland (published June 2005). The standing advice also provides information on mitigation, including the use of buffers. Proposals in proximity to ancient woodland should have a buffer zone of at least 15m from the boundary of the woodlands. Where assessment shows other impacts are likely to extend beyond this distance, for example the effects of air pollution from increased traffic and/or industrial processes , increased light and noise pollution disturbing fauna (bats feeding in invertebrates etc.), the proposal is likely to require a larger buffer zone. We would be keen to engage further with the developer in relation to any mitigation and compensation strategies. In relation to non-ancient woodland and trees , we would like to draw your attention to paragraph 131 of the NPPF which states that planning policies and decisions should ensure that existing trees are retained wherever possible.

Biodiversity Net Gain (BNG) Although outside of the boundary of the development, Spell Wood ancient woodland (an irreplaceable habitat), and the contiguous areas of Priority Habitat deciduous woodland which extend up to the site, are likely to be impacted by the proposed development. As such NPPG would require that these areas are taken into consideration when formulating BNG plans for the site. Suitable mitigation measures would be required to remove impacts to the ancient woodland wherever possible, and to limit impacts to the Priority Habitat, and provide suitable compensation in the event that impacts cannot be fully mitigated. The area of land set aside in the Illustrative Masterplan for BNG/Nutrient Neutrality, presents an excellent opportunity for the creation of native broadleaved woodland, both as a buffer to mitigate potential impacts to the existing woodlands, but also to improve the condition of those woodlands and expand the existing habitat. One of the impacts cited in the Ecological Appraisal is that of increased recreational use of the ancient woodland, by the residents of the new development. Providing an area of woodland closer at hand would likely significantly reduce this potential impact. Woodlands and other green infrastructure can also play a vital role in flood prevention, and reducing the risks posed to new developments from increased rainfall intensity, more frequent heavy rainfall events, wetter winters and hotter summers, associated with climate change projections. What is most important to the Forestry Commission in this case is that there will be no loss or detrimental impact as a result of this proposed development on ancient woodland as mentioned above.

28. Teesside Airport

The proposed development has been examined from an aerodrome safeguarding perspective in accordance with the UK Regulation (EU) No 139/2014 and could conflict with safeguarding criteria unless any planning permission granted is subject to the Condition detailed below:

Submission of Landscaping Scheme and Submission of SUDS Details

It is important that any conditions requested in this response are applied to a planning approval. Where a Planning Authority proposes to grant permission against the advice of Teesside International Airport, or not to attach conditions which Teesside International Airport has advised, it shall notify Teesside International Airport, and the Civil Aviation Authority as specified in the Town & Country Planning (Safeguarded Aerodromes, Technical Sites and Military Explosive Storage Areas) Direction 2002.

29. Ministry Of Defence

I write in respect of the above planning application on behalf of the Ministry of Justice (MoJ). HMP Kirklevington Grange is situated immediately to the west of the planning application site. HMP Kirklevington Grange is an established part of the local area and contributes to the local community with a café and car wash. The MoJ does not object

to the principle of residential development in this location, however, they have some concerns which will need to be addressed as part of the planning application process or via planning condition. These are as follows:

Construction Matters: It is noted that the planning application is for outline consent with all matters reserved except access. A Construction Traffic Environmental Management Plan (CTEMP) will be required for this type of development and it is requested that this be conditioned (should the application be determined favourably). The CTEMP should include (but not be limited to) the following information: Construction Access - this should be via Green Lane and should not utilise the existing access leading to Hutchinson Hobbs Farm Shop as this could impact the main access of HMP Kirklevington Grange to the south west.

Construction Compound - the CTEMP should include the location of the construction compound.

Construction working hours - it is anticipated that these would be standard construction working hours (8-6pm Monday to Friday).

Details of Construction Traffic Routes - as stated it is anticipated that the construction access will be from Green Lane but it would also be useful to know the primary construction route noting that this is likely to be A19/A67/A1044.

Construction noise - we would expect that a construction noise assessment be appended to any CTEMP to identify any specific noise relative to the construction compound and works.

O Contractor contact details - The CTEMP should include contact details for the lead contractor.

Traffic Analysis - Committed Sites: It is noted that there are number of committed sites identified within the Transport Assessment however this section (8.4) does not include the housing site on the former Yarm School Playing Fields (application ref: 22/1846/REM) which is currently being developed (albeit, this is mentioned in the context of roundabout improvements later in the report). The committed sites section also does not include the recently submitted application for Kirklevington Hall (application ref: 25/1001/FUL - former Judges Hotel site). Both of these sites are adjacent to HMP Kirklevington and therefore in close proximity to the application site. It is considered that the Transport Assessment should assess the traffic impact of both of these sites as they are likely to have a cumulative highways impact on local routes.

Road Safety Audit: The Road Safety Audit referenced at Appendix A of the Transport Assessment does not appear to have been included. It would be useful to see a copy of this document when it is submitted.

Drainage Strategy Plan: It is noted that an outline Drainage Strategy Plan has been submitted with the application. The plan shows two SUD attenuation ponds draining into the East/West Gill Beck which runs parallel to the access road to HMP Kirklevington Grange. Further detail will be required (by condition) in respect of the drainage strategy to ensure it does not impact on the neighbouring area including HMP Kirklevington Grange.

Conclusions: I trust the above is in order and would be grateful if the Council could keep me updated on the progress of this application and the submission of any additional information.

Publicity

30. Neighbours were notified by individual letters and wider publicity has been given via press advert/site notice. 598 letters of objection and 7 general representations. A summary of the comments is below;

- Development is on greenfield land outside Stockton Borough Council's Local Plan settlement limits.
- Site is not allocated for housing; conflicts with Local Plan policies.

- Severe congestion predicted on Green Lane, Leven Bank, A1044, A67, and Crossways roundabout.
- Proposed signalised junctions likely to worsen flow; diversion route for A19 emergencies compromised.
- GP surgeries and NHS dentists at capacity; Schools also near or over capacity;
- Emergency services and public transport provision inadequate.
- Loss of greenfield/agricultural land, hedgerows, and mature trees.
- Harm to biodiversity: deer, bats, badgers, and red-listed bird species.
- Increased air and noise pollution.
- Flood risk and drainage concerns: Green Lane prone to standing water
- Fear of urban sprawl eroding Yarm's historic market town identity.
- Light pollution concerns near North York Moors Dark Skies Reserve.
- Loss of countryside walks and rural setting.
- Stockton's Housing Supply Assessment shows over-provision; 5.33 years deliverable supply. Shortfall of only 134 dwellings when Mount Leven retirement village included—no justification for 600-unit scheme.
- Football Foundation highlights shortfall in playing pitch capacity.
- Inadequate engagement and short response windows.
- Concerns over perceived bias in developer-led assessments and lack of robust evidence.
- Cumulative Development Impact with existing development and other pending applications considered unsustainable.
- Construction Impact due to proposed 9-year build period raises concerns about prolonged disruption.
- The Council should Prioritize brownfield sites over greenfield land.
- Removal of Yarm Driving Range opposed with request for a replacement multi-use sports centre with driving range facilities.

Planning Policy Considerations

31. Where an adopted or approved development plan contains relevant policies, Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that an application for planning permissions shall be determined in accordance with the Development Plan(s) for the area, unless material considerations indicate otherwise. In this case the relevant Development Plan is the Stockton on Tees Borough Council Local Plan 2019.
32. Section 143 of the Localism Act came into force on the 15 January 2012 and requires the Local Planning Authority to take local finance considerations into account, this section s70(2) Town and Country Planning Act 1990 as amended requires in dealing with such an application the authority shall have regard to a) the provisions of the development plan, so far as material to the application, b) any local finance considerations, so far as material to the application and c) any other material considerations.

National Planning Policy Framework

33. The purpose of the planning system is to contribute to the achievement of sustainable development. Achieving sustainable development means that the planning system has three overarching objectives, which are interdependent and need to be pursued in mutually supportive ways. These are economic social and environmental objectives.

34. So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11) which for decision making means;
- approving development proposals that accord with an up-to-date development plan without delay; or
 - where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date, granting permission unless:
 - i. the application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed; or
 - ii. any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole.

Local Planning Policy

35. The following planning policies are considered to be relevant to the consideration of this application.

Strategic Development Strategy Policy 1 (SD1) - Presumption in favour of Sustainable Development

1. In accordance with the Government's National Planning Policy Framework (NPPF), when the Council considers development proposals it will take a positive approach that reflects the presumption in favour of sustainable development contained in the NPPF. It will always work proactively with applicants jointly to find solutions which mean that proposals for sustainable development can be approved wherever possible, and to secure development that improves the economic, social and environmental conditions in the area.

2. Planning applications that accord with the policies in this Local Plan (and, where relevant, with policies in neighbourhood plans) will be approved without delay, unless material considerations indicate otherwise.

3. Where there are no policies relevant to the application or relevant policies are out of date at the time of making the decision then the Council will grant permission unless material considerations indicate otherwise - taking into account whether:

- Any adverse impacts of granting permission would significantly and demonstrably outweigh the benefits, when assessed against the policies in the NPPF taken as a whole; or,
- Specific policies in that Framework indicate that development should be restricted.

Strategic Development Strategy Policy 3 (SD3) - Housing Strategy

1. The housing requirement of the Borough will be met through the provision of sufficient deliverable sites to ensure the maintenance of a rolling five year supply of deliverable housing land. Should it become apparent that a five year supply of deliverable housing land cannot be identified at any point within the plan period, or delivery is consistently falling below the housing requirement, the Council will work with landowners, the development industry and relevant stakeholders and take appropriate action in seeking to address any shortfall.

2. The following are priorities for the Council:

- a. Delivering a range and type of housing appropriate to needs and addressing shortfalls in provision; this includes the provision of housing to meet the needs of the ageing population and those with specific needs.
- b. Providing accommodation that is affordable.

- c. Providing opportunities for custom, self-build and small and medium sized house builders.
3. The approach to housing distribution has been developed to promote development in the most sustainable way. This will be achieved through:
 - a. Supporting the aspiration of delivering housing in the Regenerated River Tees Corridor (as identified on the Policies Map) in close proximity to Stockton Town Centre. Key regeneration sites which provide major opportunities for redevelopment include: Queens Park North, Victoria Estate, Tees Marshalling Yard and Land off Grangefield Road
 - b. Supporting residential development on sites within the conurbation as defined by the limits to development which comprises the main settlements of Stockton, Billingham, Thornaby, Ingleby Barwick, Eaglescliffe and Yarm.
 - c. Creating a Sustainable Urban Extension to West Stockton.
 - d. Promoting major new residential development at Wynyard leading to the area becoming a sustainable settlement containing general market housing and areas of executive housing in a high-quality environment.
 - e. Supporting residential development in villages (as shown on the Policies Map) through the recognition of existing commitments and new build within the limits to development where the land is not allocated for another purpose.
4. New dwellings within the countryside will not be supported unless they:
 - a. Are essential for farming, forestry or the operation of a rural based enterprise; or
 - b. Represent the optimal viable use of a heritage asset; or
 - c. Would re-use redundant or disused buildings and lead to an enhancement of the immediate setting; or
 - d. Are of an exceptional quality or innovative nature of design. Such a design should:
 - i. be truly outstanding or innovative, helping to raise standards of design more generally in rural areas;
 - ii. reflect the highest standards in architecture;
 - iii. significantly enhance its immediate setting; and
 - iv. be sensitive to the defining characteristics of the local area.

Strategic Development Strategy Policy 5 (SD5) - Natural, Built and Historic Environment

To ensure the conservation and enhancement of the environment alongside meeting the challenge of climate change the Council will:

1. Conserve and enhance the natural, built and historic environment through a variety of methods including:
 - a) Ensuring that development proposals adhere to the sustainable design principles identified within Policy SD8.
 - b) Protecting and enhancing designated sites (including the Teesmouth and Cleveland Coast Special Protection Area and Ramsar) and other existing resources alongside the provision of new resources.
 - c) Protecting and enhancing green infrastructure networks and assets, alongside the preservation, restoration and re-creation of priority habitats, ecological networks and the protection and recovery of priority species.
 - d) Enhancing woodlands and supporting the increase of tree cover where appropriate.
 - e) Supporting development of an appropriate scale within the countryside where it does not harm its character and appearance, and provides for sport and recreation or development identified within Policies SD3 and SD4.
 - f) Ensuring any new development within the countryside retains the physical identity and character of individual settlements.
 - g) Directing appropriate new development within the countryside towards existing underused buildings on a site for re-use or conversion in the first instance. Only where

it has been demonstrated to the satisfaction of the local planning authority that existing underused buildings would not be appropriate for the intended use should new buildings be considered.

h) Supporting the conversion and re-use of buildings in the countryside where it provides development identified within Policies SD3 and SD4, and meets the following criteria:

i. The proposed use can largely be accommodated within the existing building, without significant demolition and rebuilding;

ii. Any alterations or extensions are limited in scale;

iii. The proposed use does not result in the fragmentation and/or severance of an agricultural land holding creating a non-viable agricultural unit; and

iv. Any associated outbuildings/structures are of an appropriate design and scale.

i) Considering development proposals within green wedges against Policy ENV6.

j) Ensuring development proposals are responsive to the landscape, mitigating their visual impact where necessary. Developments will not be permitted where they would lead to unacceptable impacts on the character and distinctiveness of the Borough's landscape unless the benefits of the development clearly outweigh any harm.

Wherever possible, developments should include measures to enhance, restore and create special features of the landscape.

k) Supporting proposals within the Tees Heritage Park which seek to increase access, promote the area as a leisure and recreation destination, improve the natural environment and landscape character, protect and enhance cultural and historic assets, and, promote understanding and community involvement.

l) Preventing both new and existing development from contributing to or being put at unacceptable risk from, or being adversely affected by unacceptable levels of ground, air, water, light or noise pollution or land instability. Wherever possible proposals should seek to improve ground, air and water quality.

m) Encouraging the reduction, reuse and recycling of waste, and the use of locally sourced materials.

2. Meet the challenge of climate change, flooding and coastal change through a variety of methods including:

a. Directing development in accordance with Policies SD3 and SD4.

b. Delivering an effective and efficient sustainable transport network to deliver genuine alternatives to the private car.

c. Supporting sustainable water management within development proposals.

d. Directing new development towards areas of low flood risk (Flood Zone 1), ensuring flood risk is not increased elsewhere, and working with developers and partners to reduce flood risk.

e. Ensuring development takes into account the risks and opportunities associated with future changes to the climate and are adaptable to changing social, technological and economic conditions such as incorporating suitable and effective climate change adaptation principles.

f. Ensuring development minimises the effects of climate change and encourage new development to meet the highest feasible environmental standards.

g. Supporting and encouraging sensitive energy efficiency improvements to existing buildings.

h. Supporting proposals for renewable and low carbon energy schemes including the generation and supply of decentralised energy.

3. Conserve and enhance the historic environment through a variety of methods including:

a. Celebrating, promoting and enabling access, where appropriate, to the historic environment.

b. Ensuring monitoring of the historic environment is regularly undertaken.

- c. Intervening to enhance the historic environment especially where heritage assets are identified as being at risk.
 - d. Supporting proposals which positively respond to and enhance heritage assets.
 - e. Recognising the area's industrial heritage, including early history, railway and engineering heritage and the area's World War II contribution.
4. Priorities for interventions to conserve and enhance the historic environment include the conservation areas of Stockton and Yarm, assets associated with the route of the Stockton & Darlington railway of 1825, the branch line to Yarm and associated structures, and assets identified as being at risk. These assets, along with Preston Park, are also the priorities for celebrating the historic environment.

Strategic Development Strategy Policy 6 (SD6) - Transport and Infrastructure Strategy

1. To provide realistic alternatives to the private car, the Council will work with partners to deliver a sustainable transport network. This will be achieved through improvements to the public transport network, routes for pedestrians, cyclists and other users, and to local services, facilities and local amenities.
2. To ensure the road network is safe and there are reliable journey times, the Council will prioritise and deliver targeted improvements at key points on the local road network and work in conjunction with Highways England to deliver improvements at priority strategic locations on the strategic road network.
3. The Council will work with partners to deliver community infrastructure within the neighbourhoods they serve. Priority will be given to the provision of facilities that contribute towards sustainable communities, in particular the growing populations at Ingleby Barwick, Yarm, Eaglescliffe, Wynyard Sustainable Settlement and West Stockton Sustainable Urban Extension.
4. To ensure residents needs for community infrastructure are met, where the requirement is fully justified and necessary, the Council will support planning applications which:
 - a. Provide for the expansion and delivery of education and training facilities.
 - b. Provide and improve health facilities.
 - c. Provide opportunities to widen the Borough's cultural, sport, recreation and leisure offer.
5. Proposals will be encouraged where they provide for the expansion of communications networks, including telecommunications and high speed broadband; especially where this addresses gaps in coverage.

Strategic Development Strategy Policy 7 (SD7) - Infrastructure Delivery and Viability

1. The Council will ensure appropriate infrastructure is delivered when it is required so it can support new development. Where appropriate and through a range of means, the Council will seek to improve any deficiencies in the current level of infrastructure provision. The Council will also work together with other public sector organisations, within and beyond the Borough, to achieve funding for other necessary items of infrastructure.
2. New development will be required to contribute to infrastructure provision to meet the impact of that growth through the use of planning obligations and other means including the Community Infrastructure Levy (CIL). Planning obligations will be sought where:
 - a. It is not possible to address unacceptable impacts through the use of a condition; and,
 - b. The contributions are:
 - i Necessary to make the development acceptable in planning terms;
 - ii Directly related to the development; and
 - iii Fairly and reasonably related in scale and kind to the development.

3. Where the economic viability of a new development is such that it is not reasonably possible to make payments to fund all or part of the infrastructure required to support it, applicants will need to provide robust evidence of the viability of the proposal to demonstrate this. In these circumstances, the Council may:
 - a. Enter negotiations with the applicant over a suitable contribution towards the infrastructure costs of the proposed development, whilst continuing to enable viable and sustainable development; and/or
 - b. Consider alternative phasing, through the development period, of any contributions where to do so would sufficiently improve the economic viability of the scheme to enable payment.

Strategic Development Strategy Policy 8 (SD8) - Sustainable Design Principles

1. The Council will seek new development to be designed to the highest possible standard, taking into consideration the context of the surrounding area and the need to respond positively to the:
 - a. Quality, character and sensitivity of the surrounding public realm, heritage assets, and nearby buildings, in particular at prominent junctions, main roads and town centre gateways;
 - b. Landscape character of the area, including the contribution made by existing trees and landscaping;
 - c. Need to protect and enhance ecological and green infrastructure networks and assets;
 - d. Need to ensure that new development is appropriately laid out to ensure adequate separation between buildings and an attractive environment;
 - e. Privacy and amenity of all existing and future occupants of land and buildings;
 - f. Existing transport network and the need to provide safe and satisfactory access and parking for all modes of transport;
 - g. Need to reinforce local distinctiveness and provide high quality and inclusive design solutions, and
 - h. Need for all development to be designed inclusively to ensure that buildings and spaces are accessible for all, including people with disabilities.
2. New development should contribute positively to making places better for people. They should be inclusive and establish a strong sense of place, using streetscapes and buildings to create attractive and comfortable places to live, work and visit.
3. All proposals will be designed with public safety and the desire to reduce crime in mind, incorporating, where appropriate, advice from the Health and Safety Executive, Secured by Design, or any other appropriate design standards.
4. New development will seek provision of adequate waste recycling, storage and collection facilities, which are appropriately sited and designed.

Natural, Built and Historic Environment Policy 1 (ENV1) - Energy Efficiency

1. The Council will encourage all development to minimise the effects of climate change through meeting the highest possible environmental standards during construction and occupation.
The Council will:
 - a. Promote zero carbon development and require all development to reduce carbon dioxide emissions by following the steps in the energy hierarchy, in the following sequence:
 - i. Energy reduction through 'smart' heating and lighting, behavioural changes, and use of passive design measures; then,
 - ii. Energy efficiency through better insulation and efficient appliances; then,

- iii. Renewable energy of heat and electricity from solar, wind, biomass, hydro and geothermal sources; then
 - iv. Low carbon energy including the use of heat pumps, Combined Heat and Power and Combined Cooling Heat and Power systems; then
 - v. Conventional energy.
- b. Require all major development to demonstrate how they contribute to the greenhouse gas emissions reduction targets set out in Stockton-on-Tees' Climate Change Strategy 2016; and
 - c. Support and encourage sensitive energy efficiency improvements to existing buildings.
2. Proposals are encouraged where development:
- a. Incorporates passive design measures to improve the efficiency of heating, cooling and ventilation; and
 - b. Includes design measures to minimise the reliance on artificial lighting through siting, design, layout and building orientation that maximises sunlight and daylight, passive ventilation and avoids overshadowing.
- Domestic
3. All developments of ten dwellings or more, or of 1,000 sq m and above of gross floor space, will be required to:
- a. Submit an energy statement identifying the predicted energy consumption and associated CO₂ emissions of the development and demonstrating how the energy hierarchy has been applied to make the fullest contribution to greenhouse gas emissions reduction; and
 - b. Achieve a 10% reduction in CO₂ emissions over and above current building regulations. Where this is not achieved, development will be required to provide at least 10% of the total predicted energy requirements of the development from renewable energy sources, either on site or in the locality of the development.

Natural, Built and Historic Environment Policy 4 (ENV4) - Reducing and Mitigating Flood Risk

1. All new development will be directed towards areas of the lowest flood risk to minimise the risk of flooding from all sources, and will mitigate any such risk through design and implementing sustainable drainage (SuDS) principles.
3. Site specific flood risk assessments will be required in accordance with national policy.
4. All development proposals will be designed to ensure that:
 - a. Opportunities are taken to mitigate the risk of flooding elsewhere;
 - b. Foul and surface water flows are separated;
 - c. Appropriate surface water drainage mitigation measures are incorporated and Sustainable Drainage Systems (SuDS) are prioritised; and
 - d. SuDS have regard to Tees Valley Authorities Local Standards for Sustainable Drainage (2015) or successor document.
5. Surface water run-off should be managed at source wherever possible and disposed of in the following hierarchy of preference sequence:
 - a. To an infiltration or soak away system; then,
 - b. To a watercourse open or closed; then,
 - c. To a sewer.
6. Disposal to combined sewers should be the last resort once all other methods have been explored.
7. For developments which were previously developed, the peak runoff rate from the development to any drain, sewer or surface water body for the 1-in-1 year rainfall event and the 1-in-100 year rainfall event should be as close as reasonably practicable to the greenfield runoff rate from the development for the same rainfall event, but

should never exceed the rate of discharge from the development prior to redevelopment for that event. For greenfield developments, the peak runoff rate from the development to any highway drain, sewer or surface water body for the 1-in-1 year rainfall event and the 1-in-100 year rainfall event should never exceed the peak greenfield runoff rate for the same event.

8. Within critical drainage areas or other areas identified as having particular flood risk issues the Council may:

a. Support reduced run-off rates.

b. Seek contributions, where appropriate, towards off-site enhancements directly related to flow paths from the development, to provide increased flood risk benefits to the site and surrounding areas.

9. Sustainable Drainage Systems (SuDS) should be provided on major development (residential development comprising 10 dwellings or more and other equivalent commercial development) unless demonstrated to be inappropriate. The incorporation of SuDS should be integral to the design process and be integrated with green infrastructure. Where SuDS are provided, arrangements must be put in place for their whole life management and maintenance.

10. Through partnership working the Council will work to achieve the goals of the Stockton-on-Tees Local Flood Risk Management Strategy and the Northumbria Catchment Flood Management Plan. This will include the implementation of schemes to reduce the risk of flooding to existing properties and infrastructure. Proposals which seek to mitigate flooding, create natural flood plains or seek to enhance and/or expand flood plains in appropriate locations will be permitted.

Natural, Built and Historic Environment Policy 5 (ENV) - Preserve, Protect and Enhance Ecological Networks, Biodiversity and Geodiversity

1. The Council will protect and enhance the biodiversity and geological resources within the Borough. Development proposals will be supported where they enhance nature conservation and management, preserve the character of the natural environment and maximise opportunities for biodiversity and geological conservation particularly in or adjacent to Biodiversity Opportunity Areas in the River Tees Corridor, Teesmouth and Central Farmland Landscape Areas.

2. The Council will preserve, restore and re-create priority habitats alongside the protection and recovery of priority species.

3. Ecological networks and wildlife corridors will be protected, enhanced and extended. A principal aim will be to link sites of biodiversity importance by avoiding or repairing the fragmentation and isolation of natural habitats.

4. Sites designated for nature or geological conservation will be protected and, where appropriate enhanced, taking into account the following hierarchy and considerations:

a. Internationally designated sites - Development that is not directly connected with or necessary to the management of the site, but which is likely to have a significant effect on any internationally designated site, irrespective of its location and when considered both alone and in combination with other plans and projects, will be subject to an Appropriate Assessment. Development requiring Appropriate Assessment will only be allowed where:

i. It can be determined through Appropriate Assessment, taking into account mitigation, the proposal would not result in adverse effects on the site's integrity, either alone or in combination with other plans or projects; or ii. as a last resort, where, in light of negative Appropriate Assessment there are no alternatives and the development is of overriding public interest, appropriate compensatory measures must be secured.

b. Nationally designated sites - Development that is likely to have an adverse effect on a site, including broader impacts on the national network of Sites of Special Scientific

Interest (SSSI) and combined effects with other development, will not normally be allowed. Where an adverse effect on the site's notified interest features is likely, a development will only be allowed where:

- i. the benefits of the development, at this site, clearly outweigh both any adverse impact on the sites notified interest features, and any broader impacts on the national network of SSSI's;
 - ii. no reasonable alternatives are available; and
 - iii. mitigation, or where necessary compensation, is provided for the impact.
- c. Locally designated sites: Development that would have an adverse effect on a site(s) will not be permitted unless the benefits of the development clearly outweigh the harm to the conservation interest of the site and no reasonable alternatives are available. All options should be explored for retaining the most valuable parts of the sites interest as part of the development proposal with particular consideration given to conserving irreplaceable features or habitats, and those that cannot readily be recreated within a reasonably short timescale, for example ancient woodland and geological formations. Where development on a site is approved, mitigation or where necessary, compensatory measures, will be required in order to make development acceptable in planning terms.

5. Development proposals should seek to achieve net gains in biodiversity wherever possible. It will be important for biodiversity and geodiversity to be considered at an early stage in the design process so that harm can be avoided and wherever possible enhancement achieved (this will be of particular importance in the redevelopment of previously developed land where areas of biodiversity should be retained and recreated alongside any remediation of any identified contamination). Detrimental impacts of development on biodiversity and geodiversity, whether individual or cumulative should be avoided. Where this is not possible, mitigation and lastly compensation, must be provided as appropriate. The Council will consider the potential for a strategic approach to biodiversity offsetting in conjunction with the Tees Valley Local Nature Partnership and in line with the above hierarchy.

6. When proposing habitat creation it will be important to consider existing habitats and species as well as opportunities identified in the relevant Biodiversity Opportunity Areas. This will assist in ensuring proposals accord with the 'landscape scale' approach and support ecological networks.

7. Existing trees, woodlands and hedgerows which are important to the character and appearance of the local area or are of nature conservation value will be protected wherever possible. Where loss is unavoidable, replacement of appropriate scale and species will be sought on site, where practicable.

Natural, Built and Historic Environment Policy 6 (ENV6) - Green Infrastructure, Open Space, Green Wedges and Agricultural Land

1. Through partnership working, the Council will protect and support the enhancement, creation and management of all green infrastructure to improve its quality, value, multi-functionality and accessibility in accordance with the Stockton-on-Tees Green Infrastructure Strategy and Delivery Plan.

2. Where appropriate, development proposals will be required to make contributions towards green infrastructure having regard to standards and guidance provided within the Open Space, Recreation and Landscaping SPD or any successor. Green infrastructure should be integrated, where practicable, into new developments. This includes new hard and soft landscaping, and other types of green infrastructure. Proposals should illustrate how the proposed development will be satisfactorily integrated into the surrounding area in a manner appropriate to the surrounding townscape and landscape setting and enhances the wider green infrastructure network.

3. The Council will protect and enhance open space throughout the Borough to meet community needs and enable healthy lifestyles. The loss of open space as shown on the Policies Map, and any amenity open space, will not be supported unless:
 - a. it has been demonstrated to be surplus to requirements; or
 - b. the loss would be replaced by equivalent or better provision in terms of quantity and quality in a suitable location; or
 - c. the proposal is for another sports or recreational provision, the needs for which, clearly outweigh the loss; or
 - d. the proposal is ancillary to the use of the open space; and
 - e. in all cases there would be no significant harm to the character and appearance of the area or nature conservation interests.
5. Development proposals will be expected to demonstrate that they avoid the 'best and most versatile' agricultural land unless the benefits of the proposal outweigh the need to protect such land for agricultural purposes. Where significant development of agricultural land is demonstrated to be necessary, proposals will be expected to demonstrate that they have sought to use areas of lower quality land in preference to that of a higher quality.

Natural, Built and Historic Environment Policy 7 (ENV7) - Ground, Air, Water, Noise and Light Pollution

1. All development proposals that may cause groundwater, surface water, air (including odour), noise or light pollution either individually or cumulatively will be required to incorporate measures as appropriate to prevent or reduce their pollution so as not to cause unacceptable impacts on the living conditions of all existing and potential future occupants of land and buildings, the character and appearance of the surrounding area and the environment.
2. Development that may be sensitive to existing or potentially polluting sources will not be sited in proximity to such sources. Potentially polluting development will not be sited near to sensitive developments or areas unless satisfactory mitigation measures can be demonstrated.
3. Where development has the potential to lead to significant pollution either individually or cumulatively, proposals should be accompanied by a full and detailed assessment of the likely impacts. Development will not be permitted when it is considered that unacceptable effects will be imposed on human health, or the environment, taking into account the cumulative effects of other proposed or existing sources of pollution in the vicinity. Development will only be approved where suitable mitigation can be achieved that would bring pollution within acceptable levels.
4. Where future users or occupiers of a development would be affected by contamination or stability issues, or where contamination may present a risk to the water environment, proposals must demonstrate via site investigation/assessment that:
 - a. Any issues will be satisfactorily addressed by appropriate mitigation measures to ensure that the site is suitable for the proposed use, and does not result in unacceptable risks which would adversely impact upon human health and the environment; and
 - b. Demonstrate that development will not cause the site or the surrounding environment to become contaminated and/or unstable.
5. Groundwater and surface water quality will be improved in line with the requirements of the European Water Framework Directive and its associated legislation and the Northumbria River Basin Management Plan. Development that would adversely affect the quality or quantity of surface or groundwater, flow of groundwater or ability to abstract water will not be permitted unless it can be

demonstrated that no significant adverse impact would occur or mitigation can be put in place to minimise this impact within acceptable levels.

6. To improve the quality of the water environment the Council will:

- a. Support ecological improvements along riparian corridors including the retention and creation of river frontage habitats;
- b. Avoid net loss of sensitive inter-tidal or sub-tidal habitats and support the creation of new habitats; and
- c. Protect natural water bodies from modification, and support the improvement and naturalisation of heavily modified water bodies (including de-culverting and the removal of barriers to fish migration).

Housing Policy 4 (H4) - Meeting Housing Needs

1. Sustainable residential communities will be created by requiring developers to provide a mix and balance of good quality housing of appropriate sizes, types and tenures which reflects local needs and demand, having regard to the Strategic Housing Market Assessment, its successor documents or appropriate supporting documents.

2. Support will be given to higher density development within areas with a particularly high level of public transport accessibility. Elsewhere housing densities will be considered in the context of the surrounding area in accordance with Policy SD8.

3. The Council require 20% of new homes to be affordable on schemes of more than 10 dwellings or with a combined gross floorspace of above 1000sqm.

4. Where an applicant considers that the provision of affordable housing in accordance with the requirements of this policy would make the scheme unviable, they must submit a full detailed viability assessment to demonstrate the maximum level of affordable housing that could be delivered on the site. The applicant will be expected to deliver the maximum level of affordable housing achievable.

5. Affordable housing will normally be provided on-site as part of, and integrated within housing development to help deliver balanced communities. This provision should be distributed across sites in small clusters of dwellings. Off-site affordable housing or a commuted sum will only be acceptable where:

- a. All options for securing on-site provision of affordable housing have been explored and exhausted; or
- b. The proposal is for exclusively executive housing, where off-site provision would have wider sustainability benefits and contribute towards the creation of sustainable, inclusive and mixed communities; or
- c. The proposal involves a conversion of a building which is not able to accommodate units of the size and type required; or
- d. Any other circumstances where off-site provision is more appropriate than on-site provision.

6. Where off-site affordable housing or a commuted sum is considered acceptable, the amount will be equivalent in value to that which would have been viable if the provision was made onsite and calculated with regard to the Affordable Housing Supplementary Planning Document 8 or any successor.

7. The Council will support proposals for specialist housing, including extra care and supported housing to meet identified needs. Accommodation will seek to deliver and promote independent living.

9. To ensure that homes provide quality living environments for residents both now and in the future and to help deliver sustainable communities, from the 1st April 2019 the following Optional Standards will apply, subject to consideration of site suitability, the feasibility of meeting the standards (taking into account the size, location and type of dwellings proposed) and site viability:

- a. 50% of new homes to meet Building Regulation M4 (2) "Category 2 - accessible and adaptable dwellings".
 - b. 8% of new dwellings to meet Building Regulation M4(3) "Category 3 - Wheelchair User Dwellings". Where the local authority is responsible for allocating or nominating a person to live in that dwelling, homes should meet building regulation M4 (3) (2) (b). When providing for wheelchair user housing, early discussion with the Council is required to obtain the most up-to-date information on specific need in the local area.
10. To widen the overall housing offer, the Council will support the delivery of custom and selfbuild housing. The Council will:
- a. Regularly monitor the demand for custom and self-build housing and assist in facilitating the delivery of land/sites, where appropriate.
 - b. Encourage applicants to consider incorporating plots for custom and self-build housing within larger housing developments.

Transport and Infrastructure Policy 1 (T1) - Transport Infrastructure

Delivering A Sustainable Transport Network

1. To support economic growth and provide realistic alternatives to the private car, the Council will work with partners to deliver an accessible and sustainable transport network. This will be achieved through improvements to the public transport network and routes for pedestrians, cyclists and other users.
2. A comprehensive, integrated and efficient public transport network will be delivered by:
 - a. Retaining essential infrastructure that will facilitate sustainable passenger movements by bus, rail and water;
 - b. Supporting proposals for the provision of infrastructure which will improve the operation, punctuality and reliability of public transport services;
 - c. Supporting upgrades to railway stations within the Borough to improve access and safety;
 - d. Improving public transport interchanges to allow integration between different modes of transport;
 - e. Working with public transport operators to maintain and enhance provision wherever possible;
 - f. Working with partners to promote the provision of accessible transport options for persons with reduced mobility; and
 - g. Ensuring appropriate provision is made for taxis and coaches.
3. Accessible, convenient, and safe routes for pedestrians, cyclists and other users will be delivered by:
 - a. Improving, extending and linking the Borough's strategic and local network of footpaths, bridleways and cycleways; and
 - b. Improving the public realm and implementing streetscape improvements to ensure they provide a safe and inviting environment.
4. Sites and routes which will play a role in developing infrastructure to widen transport choice will be safeguarded from development which would impact negatively on their delivery or attractiveness to potential users; routes include:
 - a. Bridge and footway/cycleway link across the Rivers Tees between Ingleby Barwick and Egglecliffe;
 - b. Cycleway/footway from Durham Road, Thorpe Thewles to Wynyard Woodland Park;
 - c. Cycleway/footway to the north of Mill Lane, Long Newton;
 - d. Cycleway/footway from Elton Interchange to Durham Lane Industrial Estate;
 - e. Cycleway/footbridge across the A689 (via a bridge) to connect with the wider cycleway network at Wynyard Road; and
 - f. Car parking to the west of Egglecliffe Station and footbridge over the railway line.

5. Essential infrastructure that will facilitate sustainable freight movements by rail and water will be retained.

Highways Infrastructure

6. To support economic growth, it is essential that the road network is safe and that journey times are reliable. The Council will seek to provide an efficient and extensive transport network which enables services and facilities to be accessible to all, accommodate the efficient delivery of goods and supplies, whilst also minimising congestion and the environmental impact of transport.

7. Targeted improvements will be delivered at the following priority locations (routes are safeguarded where identified):

a. Strategic road network:

- i. A66 (including A66 Elton Interchange);
- ii. A19 Widening Norton to A689 (route safeguarded);
- iii. A19/A689 Interchange; and
- iv. A19/A67 Interchange (Crathorne).

b. Local road network:

- i. Junctions associated with the West Stockton Sustainable Urban Extension;

1. Darlington Back Lane and Yarm Back Lane junction.

2. Horse and Jockey Roundabout (Durham Road, Junction Road and Harrowgate Lane).

3. Harrowgate Lane and Leam Lane.

- ii. Junction of A1027, Junction Road and Norton High Street, Stockton; and

- iii. Junction of Durham Road, A1027 and Bishopton Avenue, Stockton.

iv. A689 at Wynyard:

1. Improvements at five roundabouts on A1185 Seal Sands Link Road- Wolviston

- Services- Wynyard Business Park- Wynyard East- Wynyard West.

2. Additional Lane on the northern carriageway of the A689/A19 junction to provide 3 lanes (removing existing footway) and a replacement separate cycle/footbridge over the A19.

8. The Council and its partners will support the development of the Key Route Network which through continual assessment of the strategic and local road network, will help identify and ensure appropriate improvements are delivered.

Aviation

9. The Councils approach to development at Durham Tees Valley Airport is outlined in Policy EG5.

New Development

10. Existing sustainable transport and public transport infrastructure will be protected from development which would impair its function or attractiveness to users.

11. To assist consideration of transport impacts, improve accessibility and safety for all modes of travel associated with development proposals, the Council will require, as appropriate, a Transport Statement or Transport Assessment and a Travel Plan.

12. The Council and its partners will seek to ensure that all new development, where appropriate, which generate significant movements are located where the need to travel can be minimised, where practical gives priority to pedestrian and cycle movements, provides access to high quality public transport facilities and offers prospective residents and/or users with genuine sustainable transport options. This will be achieved by seeking to ensure that:

a. Transport choices are widened and the use of sustainable transport modes are maximised. New developments provide access to existing sustainable and public transport networks and hubs. Where appropriate, networks are extended and new hubs created. When considering how best to serve new developments, measures

make best use of capacity on existing bus services before proposing new services and

consideration is given to increasing the frequency of existing services or providing feeder services within the main network.

b. Suitable access is provided for all people, including those with disabilities, to all modes of transport.

c. Sufficient accessible, and convenient operational and non-operational parking for vehicles and cycles is provided, and where practicable, incorporates facilities for charging plug-in and other ultra-low emission vehicles. Any new or revised parking provision is of sufficient size and of a layout to facilitate its safe and efficient operation.

d. Appropriate infrastructure is provided which supports Travel Demand Management to reduce travel by the private car and incentivises the use of sustainable transport options.

e. New development incorporates safe and secure layouts which minimises conflict between traffic, cyclists or pedestrians.

13. The Council's approach to transport infrastructure provision is set out in Policy SD7.

Transport and Infrastructure Policy 3 (TI3) - Communications Infrastructure

1. The Council supports the expansion of communications networks, including telecommunications and high speed broadband; especially where this addresses gaps in coverage.

7. Developers should demonstrate how proposals for new homes, employment or main town centre uses will contribute to and be compatible with local fibre and internet connectivity.

8. Taking into consideration viability, the Council require developers of new homes, employment or main town centre uses to deliver, as a minimum, on-site infrastructure including open access ducting to industry standards, to enable new premises and homes to be directly served by local fibre and internet connectivity. This on-site infrastructure should be provided from homes and premises to the public highway or other location justified as part of the planning application. Where possible, viable and desirable, the provision of additional ducting will be supported where it allows the expansion of the network.

Material Planning Considerations

36. The main planning considerations in the determination of this application include the principle of development and the impacts of the development on the visual amenity of the area, residential amenity, highway safety, flood risk, ecology and other matters arising out of consultation

Principle of development

37. The National Planning Policy Framework (NPPF) sets out the governments objectives for the planning system and in particular those for achieving sustainable development. The three dimensions of sustainable development are economic, social and environmental. The NPPF also includes a number of core planning principles one of which is the need to identify and meet housing needs as well as respond positively to wider opportunities for growth. Paragraph 61 of the NPPF details the importance the Government attaches to boosting significantly the supply of housing.
38. In terms of local planning policies there are no specific designations which apply to this site other than the site lies outside the limits to development, consequently the site forms part of the open countryside. Policy SD3 seeks to control development within the countryside beyond these limits and is restricted unless it meets certain criteria.

39. However, just because the site is outside the 'limits of development', the proposed development should not be ruled out purely on the grounds of falling outside the settlement boundary and there are other factors to be weighed in the overall balance which are considered in more detail below.

Five Year housing supply

40. Comments have been received that state the application has failed to demonstrate a need for the development, however the housing requirement figure has been set using the latest Government Methodology as required by the NPPF (2024), and as the Council cannot demonstrate a 5 year supply and the application will need to be determined in accordance with Paragraph 11 of the NPPF.
41. Para 11 states “for decision-taking this means approving development proposals that accord with the development plan without delay; where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date , granting permission unless the application of policies in this Framework that protect areas or assets of particular importance provides a strong reason for refusing the development proposed; or any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole, having particular regard to key policies for directing development to sustainable locations, making effective use of land, securing well-designed places and providing affordable homes, individually or in combination”.
42. Paragraph 232 of the NPPF states policies should not be considered out of date simply because they were adopted prior to the publication of the Framework and due weight should be given to relevant policies in existing plans according to their degree of consistency with the Framework, i.e. the closer the policies in the plan to those in the Framework, the greater the weight that may be given.
43. In terms of visual impact, policies to safeguard the countryside are relevant and are considered further below. These policies are broadly consistent with the Framework. However, the approach of Policy SD3 in seeking to control the principle of development beyond settlement boundaries is more restrictive than the approach set out in the Framework. The balancing of harm against benefit is a defining characteristic of the Framework’s overall approach embodied in the presumption in favour of sustainable development. Because of this, where Policy SD3 is used to restrict housing, it cannot be seen to be consistent with the Framework and is therefore out of date and the proposal should therefore be assessed using the approach set out in the second bullet point of the decision-taking section of paragraph of the Framework and only if the Council is able to demonstrate harm which “significantly and demonstrably” outweighs the benefits of the development should consent be refused.

Delivery of the housing

43. The applicant states “*Subject to the granting of a timely outline planning approval, Taylor Wimpey would be looking to progress with a reserved matters application shortly afterwards with a view to starting on site as quickly as possible. In this regard, it is envisaged that first occupations could take place within approximately 24 months of the submission of the outline planning application with anticipated delivery being in the order of 40 homes a year thereafter. As such, it is envisaged that the proposed development could deliver approximately 120 new homes within the 5 year period*”..

44. During the course of the applications in and around Yarm it became apparent that there are capacity issues in relation to providing electricity for future homes. Whilst this may affect delivery in the short term, the Council is required to maintain a rolling five-year housing land supply updated annually in line with paragraph 78 of the NPPF.
45. Even homes that come forward after the end of the current five year period will contribute to future iterations of the Council's annual housing land supply monitor and it is considered that the weight afforded to the delivery of homes that may be in year 6 rather than year 3, for example should not be reduced, unless it is uncertain as to whether there will be delivery at all.
46. NPG were consulted and do not suggest that the required upgrade works will never come forward, only that the timescale is uncertain, it is likely that a proportion of the housing could be delivered with the remainder coming forward once the required upgrades/ new infrastructure is provided.

Sustainability

47. One of the core land-use planning principles, in the National Planning Policy Framework is "*the need for planning to actively manage patterns of growth to make the fullest possible use of public transport, walking and cycling and to focus significant development in locations which are or can be made sustainable*". Objections have been received from residents commenting that the site has no regular bus service/links and this development will put pressure on services in the area.
48. In terms of proximity to services, the development is opposite an existing modern housing estate with facilities in a local centre, Healaugh Park. The proposed site is approximately 800m-1.5km from the nearest secondary school with adequate lit foot and cycle paths to access this facility and 500m – 1km to the nearest two primary schools again with easy and accessible routes.
49. Whilst the distances to key amenities and local centres exceed the recommended 800m walking distance from a number of properties within the site, the quality of the routes ensures they remain viable options for pedestrians/cyclists and are the same routes that existing housing development opposite the site would use. These routes are generally safe, direct, convenient, and accessible for people of all abilities, ensuring walkability/cycling in the area.
50. It should be noted that manual for Streets states "*Walkable neighbourhoods are typically characterised by having a range of facilities within 10 minutes' (up to about 800 m) walking distance of residential areas which residents may access comfortably on foot. However, this is not an upper limit and states that walking offers the greatest potential to replace short car trips, particularly those under 2 km*".
51. In terms of bus services, the applicant has proposed the diversion of the Number 7 service that would enter the site from the Glaisdale Road access along the site spine road and leave the site via the Kirk Road access which will lead to a substantial improvement to the sustainability of the site and the existing area to the north of Green Lane. This can be secured in the legal agreement (S106).
52. Cycle paths and footpath links to the existing network are to be provided and it is considered that's in view of the proximity of reasonably accessible services and a choice of transport modes, it is considered that this site is in a sustainable location to support

new development, and occupants would not necessarily need to solely rely on the private car.

53. Concerns have been raised regarding the impact of the scheme on local schools and facilities, doctors and dentists. However, notwithstanding the lack of objection from these bodies, or substantive evidence to suggest that their capacity is limited, no evidence has been put forward to state the private and public services cannot cope with the development and no objections have been raised from the bodies responsible for the public services and therefore it is considered that this in itself would not warrant refusal of the application.

Loss of Agricultural Land

54. The best and most versatile agricultural land is classified as Grades 1, 2, and 3a, which are capable of supporting a wide range of crops and high yield.
55. An Agricultural Land Classification report accompanies the application and in summary, the report considered an area of 61.3 hectares and identifies that the soil type and characteristics of the land are slightly mixed quality but primarily comprise medium to strong clay loam soil overlying clayey subsoils. A Localised area (3.2 hectares) within the central southern portion can be considered Grade 3a, however the physical area is very limited. Given dominant presence of medium / strong clay soils and sub soils through majority of site combined with low lying position and poor natural drainage characteristics, the Agricultural Land Classification limited to ALC Grade 3b overall.
56. Given the findings of the report it is considered that the loss of a small proportion of Grade 3a land (5%) is not a significant constraint to the development. Nonetheless the land is shown on the indicative plan to be a potential area for BNG and/or Nutrient Neutrality.

Loss of the Driving Range

57. Comments have been received regarding the loss of the driving range and that it should be replaced. The Applicant has confirmed that the farm shop and driving range buildings will be retained, which it is understood will be re-used by the landowner
58. When preparing the local plan and associated SPDs, none of the evidence based reports include an assessment of golf course or driving ranges. The driving range has no statutory protection and is a commercial enterprise and whilst it is regrettable that the facility will close it is not an Asset of Community Value which Policy TI2 is seeking to protect and therefore the loss can be given limited weight
59. Policy ENV6 of the Stockton Local Plan advises that the Council protect and enhance open space throughout the Borough to meet community needs and enable healthy lifestyles. The loss of open space as shown on the Policies Map and any amenity open space will not be supported unless one of a number of criteria are met. However, the existing driving range is not allocated as open space on the Policies Map nor is it amenity open space and the development proposal therefore do not conflict with Policy ENV6.

Economic/Social Benefits

60. It is recognised that a key benefit of the proposed development would be that it contributes towards the boroughs housing land supply, as well providing contributions

for affordable housing units. These have both social and economic benefits as set out within the three elements of the definition of sustainable development. Furthermore, the development would provide a number of jobs in the construction industry and supply chain in the short term, and such benefits are consistent with the aims of the NPPF in supporting economic growth.

61. Whilst these houses may not be delivered early on in the 5 year period due to the constraints in terms of the electricity, the Council needs to have a five year rolling supply and as detailed in paragraphs 43-46 the provision of housing can be afforded significant weight and would not be a reason to refuse the application.

Visual Implications/Character of the area

62. The application is accompanied by a landscape and visual appraisal which has been assessed by a landscape architect who confirms that it is generally acceptable given the methodology provided. The LVIA considers the magnitude of change brought about through the proposed development alongside the level of sensitivity for each landscape area or receptor and the level of landscape or visual effects is expressed as a combination of these two elements
63. The LVIA states the wider landscape around Stockton-on-Tees is varied, combining settlement and countryside, but maintains a strong and recognisable structure shaped by undulating landform and intermittent woodland. At larger scales, the proposed development is judged to have negligible impact nationally and slight impact regionally.
64. At the local level, the site lies within urban-fringe farmland, a landscape typically enclosed by woodland, hedgerows, and rolling topography. Settlements ranging from dispersed farmsteads to denser housing at Yarm are common features. Key landscape elements such as trees, hedgerows, and wooded boundaries will largely be retained. The development's effect on the immediate local landscape is assessed as Slight–Moderate, reducing to Slight as new planting matures and integrates the site. Adjacent areas will experience Negligible to Slight effects.
65. A landscape framework plan sets out measures to integrate the development, including new woodland, hedgerow planting, and habitat enhancement areas. These will help support wildlife, improve ecological value, and align with national character area objectives.
66. Consultee comments received in regards to landscape state that the proposed development is outside of the limits to development and as such is poorly related to the existing settlement and represents an incursion into open countryside however the extent to which the proposals would be likely to conflict with policies dealing with landscape and visual matters and the weight that should be attached is a matter to be weighed in the balance when considering the benefits versus the harm.
67. Whilst the site is outside the limits to development, the site is not subject to any national or local landscape designations such as National Park, AONB or Green Wedge/Belt. Comments that the site is poorly related to the existing settlement are acknowledged however there are developments in along this side of Green Lane including the housing at Kirklevington Prison and the sites further west beyond Yarm School Playing Pitches.
68. Whilst it is acknowledged that the provision of housing on the edge of any areas of open space will have a negative impact in the sense that it replaces green areas with

built form, the LVIA also recognises that the development proposals would not appear incongruous on the edge of the settlement.

69. Notwithstanding the extent of building development, the proposals also include elements of open space and landscaping throughout the site and the retention of the hedge along Green Lane, other than the areas removed to create the access, all of which would help to soften the development as a whole and integrate it into the surrounding landscape.
70. Comments from Active Travel England in relation to the tree belt and hedgerow are noted and whilst the ATE welcome pedestrian and cycles links through this area it is considered that the character of the area could be compromised. As the detailed layout has not been agreed at this stage should links be required this would be considered at the reserved matters stage and included where there is opportunity / less sensitivity. It is noted that the hedgerow has been retained in the housing developments further west (former Tall Trees Site) and this maintains a green and pleasant route along Green Lane.

Proposed Development / Layout

71. The proposed development is supported by an indicative master plan which demonstrates how a potential scheme can be developed. The indicative plan shows primary and secondary roads, footpaths with open space/kick about areas and landscaping which in principle shows a logical and workable layout. Open space will be provided in accordance with the SPD, and /or off site contribution will be made
72. Comments that the application does not provide a cohesive design that responds to the context, with a density of 20-25 dwellings/hectare which should be too high for the location of the application site are noted however The NPPF (paras 129-130) promotes the efficient use of land and that planning policies and decisions avoid homes being built at low densities and ensure that developments make optimal use of the potential of each site. The indicative density across the site is approximately said to be 20-25 dwellings per hectare which is considered to be acceptable for this site and its location.
73. Whilst there are TPOs on some of the trees in and along Green Lane, conditions are also sought to secure the protection of trees and hedges which are considered essential to safeguard the visual appearance of the development but also integrate into other aspects of the development. As this is an outline planning application, final landscaping details would form part of the future considerations associated with any reserved matters application.
74. A noise impact assessment accompanies the application and sets out that a baseline noise survey was carried out, and the subsequent assessment work has been undertaken in accordance with current standards and guidance. Whilst the exact location and layout of the proposed dwellings is unknown at this time, it is considered that the internal and external noise levels could meet the requirements of BS 8233 with appropriate mitigation in place. The EHO has considered the scheme and raised no objections subject to conditions to assess noise further once the layout is known which will then secure any final mitigation. Based on the results of the assessment, it has been demonstrated that the site is suitable for a residential development of this type from a noise perspective.
75. Policy ENV 1 requires that all developments of ten dwellings or more will be required to submit an energy statement identifying the predicted energy consumption and

associated CO2 emissions of the development and demonstrating how the energy hierarchy has been applied to make the fullest contribution to greenhouse gas emissions reduction. In addition to achieving a 10% reduction in CO2 emissions over and above current building regulations, or where this is not achieved, to provide at least 10% of the total predicted energy requirements of the development from renewable energy sources, either on site or in the locality of the development. Whilst this is in outline a condition has been recommended to ensure this is delivered.

76. Local Plan Policy H4 requires that 20% of new homes are to be affordable on schemes of more than 10 dwellings or where the floor space exceeds 1000 sq metres and requires affordable housing to be provided on-site. The applicant is providing the 20% as required and therefore the scheme is policy compliant in this regard.
77. Policy H4 requires development to provide a proportion of M4(3) and M4(4) dwellings, the Applicant has indicated that this will be met and details provided at the reserved matter stage and has been secured by condition
78. Comments from the Place Development Team, ATE, Cleveland Fire Brigade and Cleveland Police are noted and have been passed to the applicant for information and consideration at the reserved matters stage.

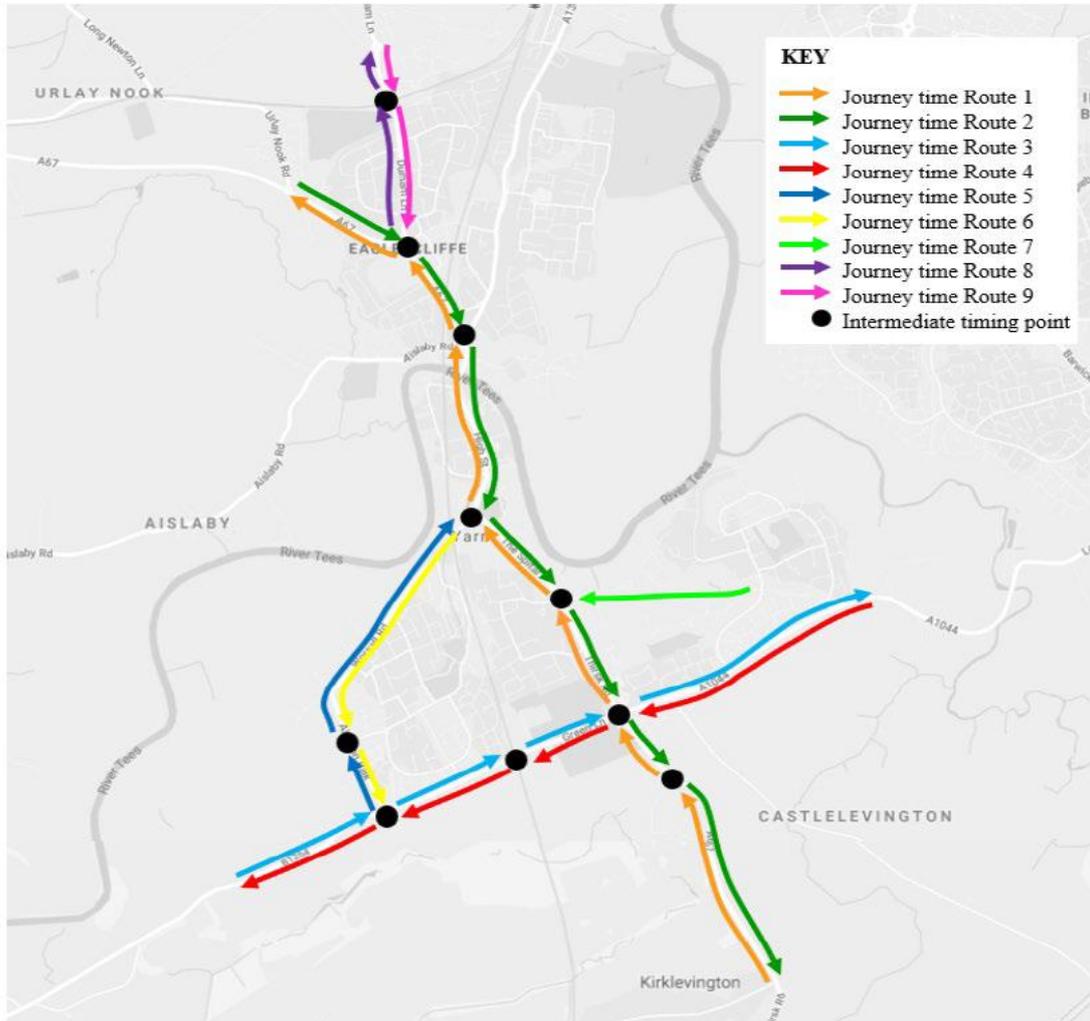
Impacts on Amenity

79. To the north, east and west of the application site are residential premises and whilst it is accepted that there would be impacts due to noise and construction it is considered that these would be adequately controlled through the provision of a construction management plan and the restriction on working hours.
80. In terms of separation distances the development could be laid out so as not to have an adverse impact on neighbouring properties and it is therefore considered that the proposal could be implemented without having a significant adverse impact on privacy or amenity for neighbouring and proposed residential properties but this will be considered in detail at the reserved matters stage.
81. An air quality assessment accompanies the application. A qualitative construction phase dust assessment was undertaken in accordance with IQM guidance and measures were recommended to minimise emissions during construction activities. With the implementation of these mitigation measures the impact of construction phase dust emissions was considered to be not significant. The requirement for a Construction Management Plan has been conditioned
82. A detailed operational phase road traffic emissions assessment was undertaken and reviewed by the EHO. No objections have been raised in this regard.

Highway safety/Transport impacts

83. The Application is accompanied by a Transport Assessment (TA), Traffic Modelling Results (TMR), site access arrangements and an illustrative masterplan.
84. Whilst the bulk of the objections relate to traffic and the cumulative impact of the developments in and round Yarm, concerns have been raised that the application fails to look at the cumulative impact of the developments on the existing infrastructure and does not consider Yarm and Eaglescliffe topography, in that it has only one main road linking the towns across the River Tees.

- 85. The Documents have been considered by National Highways who confirms there would be no significant adverse impact on the strategic road network.
- 86. The documents and received objections have been noted by the HTDM who considers the impact on the local road network. The journey times are outlined below based on the route map below



The AM peak results of the YTM are summarised for each particular route below. CD relates to Committed Development

Route	Base + CD	Base + CD + Development	Diff to CD
A67 Northbound	12:56	14:00	+1:03
A67 Southbound	11:33	11:48	+0:15
Green Lane Ebd	06:23	07:50	+1:27
Green Lane Wbd	05:21	06:06	+0:45
Worsall Road NE Bound	07:07	07:25	+0:18
Worsall Road SW Bound	02:16	02:16	0:00
Leven Road	05:31	06:14	+0:43
Durham Lane Nbd	01:41	01:42	+0:01
Durham Lane Sbd	06:31	06:38	+0:07

The PM peak results of the YTM are summarised for each particular route below

Route	Base + CD	Base + CD + Development	Diff to CD
A67 Northbound	11:18	11:24	+0:06
A67 Southbound	19:15	19:56	+0:41
Green Lane Ebd	05:00	05:50	+0:50
Green Lane Wbd	04:51	05:09	+0:18
Worsall Road NE Bound	03:02	03:25	+0:23
Worsall Road SW Bound	02:14	02:14	0:00
Leven Road	01:32	01:35	+0:03
Durham Lane Nbd	02:06	02:28	+0:22
Durham Lane Sbd	06:19	06:44	+0:25

87. The HTDM has confirmed that the TA and TMR have demonstrated that the residual cumulative impacts on the road network, following mitigation, would not be severe, considering all reasonable future scenarios. This is subject to a requirement for the applicant to contribute towards the provision of the highway mitigation at Crathorne interchange.

88. The site access arrangements in the form of two new signalised junctions, are considered to be broadly acceptable. Both junctions will incorporate pedestrian and cycle crossing facilities which would provide access to the existing footway / cycleway network.
89. Active Travel England (ATE) have made a number of comments in relation to cycle links etc but many of these will be considered at detailed design stage for the road via the Section 278 Agreement and whilst ATE and the Local Highways Authority are Statutory Consultees and the views of both bodies need to be considered by the LPA, it is a matter for the LPA who will need to balance all representations. The cycle links have been considered by the LHA taking into account the existing and proposed needs and future aspirations for cycling in the area.
90. Car parking and vehicular access for each plot will be considered at reserved matters stage to ensure the development complies with the adopted SPD for Car parking.
91. Overall, it is considered that the development would not have an adverse impact in terms of pedestrian or highway safety sufficient to warrant refusal of the application.

Flood risk

92. The application site is in flood zone 1 where development should be directed. The application is accompanied by a Flood risk assessment and a drainage strategy.
93. Surface Water flooding is noted along the central low spot area of the site due to the topography. It is proposed that no buildings, land-raising or accesses are proposed in these Medium / High risk areas unless agreed otherwise with the Local Planning Authority and the masterplan has been designed to accommodate these areas.
94. The Environment Agency have commented that development should, wherever possible, help to improve local environmental conditions such as air and water quality, taking into account relevant information such as river basin management plans and a condition has been recommended to secure these details along with the submitted of a Water Framework Directive Assessment.
95. The Lead Local Flood Authority and Environment Agency and Northumbrian Water have considered the proposals and raised no objections subject to conditions which have been recommended.

Ecology/Biodiversity

96. A Preliminary Ecological Appraisal (PEA) accompanies the application. In terms of bats, several of the field trees were identified as roosting opportunities for bats, though are proposed to be retained within the development and the areas of woodland and grassland will provide foraging habitat for bats roosting locally. A Bat survey was undertaken and concluded that no impacts on sites designated for bats are predicted from the development.
97. The site provides a range of nesting and foraging habitat for birds, associated with scrub, woodland and arable crops. A number of high and medium conservation concern were noted, 8 species of conservation concern are also listed as "priority species". The breeding bird survey confirmed that the site is considered likely to be of local ornithological value to breeding birds.

98. There were no definitive field signs suggesting the presence of badgers on site and the results showed that the GCN are likely to be absent, with the site identified as low value
99. Due to the location and nature of the site other protected species are considered likely absent.
100. As a result of the assessment and nature of the proposed works, the conclusion of the PEA is that there would be likely impacts, without appropriate avoidance measures, mitigation and/or compensation scheme. These measures have been secured by condition
101. Comments from the Forestry Commission are noted and whilst public access cannot be avoided as there is a PROW to the south of the site, the reports state that design will establish an appropriate buffer, including fencing, to Local Wildlife Sites to the south, eliminating additional light spill and providing a visual barrier to minimise disturbance and enclosure. A condition to ensure the buffer meets the requirements of standing advice has been recommended.

Biodiversity Net Gain

102. In terms of biodiversity net gain, A Biodiversity Net Gain Assessment accompanies the application and to meet the Biodiversity Gain Objective of a 10% or greater gain in biodiversity units, measured against the baseline units, post-development the following number of biodiversity units is required.
103. The plan has been reviewed and sufficiently demonstrates that the 10% gain objective can be met through the measures detailed in the report but the purchase of units is also a possible approach. Conditions have been recommended to secure this along with a Habitat Management Maintenance and Management Plan

Nutrient Neutrality

104. With regards to Nutrient Neutrality, an assessment accompanies the application, and calculations show that the development will generate a TN load of approximately 101.29kgTN/year prior to April 2030. As a result, a temporary mitigation strategy will be required to achieve nutrient neutrality for this interim period. From April 2030 onwards, the implementation of statutory measures under the Levelling-up and Regeneration Act (LURA) is expected to apply. Post-2030, the development is projected to result in a negative TN budget of -45.38kgTN/year, meaning no further mitigation will be required beyond this date.
105. Based on current development layout and land use assumptions, and applying an average dwelling density of 29 dwellings per hectare, up to 432 dwellings can be delivered nutrient neutrally using on-site mitigation measures alone. This is achievable through the cessation of agricultural use and land use change within the red line boundary. The remaining 168 dwellings will require mitigation. Two temporary mitigation options have been assessed: off-Site fallowing and the purchase of nutrient credits. Both mitigation approaches ensure the development remains compliant with nutrient neutrality requirements during the interim period prior to the LURA in April 2030. Natural England have considered the details and raised no objections subject to conditions which have been recommended.

Archaeology

106. In terms of Archaeology, the application is supported by a summary Statement which confirms the site sits in a landscape that has seen activity from the Prehistoric period through to the post-medieval period. Such activity has been recorded within the Site from investigations undertaken including geophysical survey and trial trenching. Iron Age settlement and occupation activity has been recorded immediately to the northeast through various phases of evaluation. Later activity has been found to the west with evidence for Roman settlement activity within central and southern part of the Site as proven from evaluation undertaken in 2011.
107. Tees Archaeology have considered the information and raised no objections subject to conditions to secure further investigations and recording work which have been recommended.

Residual matters

108. In terms of Contaminated Land an assessment should be undertaken using a staged assessment with the following components being approved by the local authority before proceeding to the next stage. A condition to secure the submission of a PRA has been recommended.
109. Comments that the proposed development will be occupied by commuters as there is little to no employment in the area are noted but this is generally the case for edge of settlement developments. The proposal is in a location with good access links to the local and strategic network and in itself this would not be a reason to refuse the application.
110. Comments from Teesside Airport are noted and the requested condition has been recommended to ensure aviation safety.
111. Comments from the Ministry of Justice have been considered in relation to HMP Kirklevington Grange and appropriate conditions recommended to ensure the continued operation of the site and associated facilities.

Planning Balance

112. Planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise. The Council cannot demonstrate a five-year supply of deliverable housing sites. As such, in accordance with the Framework, the policies which are most important for determining the application are out-of-date and permission should be granted unless the application of policies in the Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed; or any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework taken as a whole.
113. The Framework requires weight to be given to conserving and enhancing landscape. In this instance, the harm arising from the development would be limited and localised due to the loss of the open fields, for the reasons set out above.
114. Set against this harm is the delivery of much needed housing, including 20% affordable in a broadly sustainable location with a good level of accessibility to public transport links and services and facilities by means other than the private motor vehicle.

115. The development would also bring economic benefits in terms of construction jobs and spending in the area, which will attract weight in favour and a breakdown of the socio-economic benefits which will be delivered is included at Appendix F. It should be noted that Council Tax is not a material planning consideration.
116. Overall, taking into account the submitted information, it is considered that the identified harm would not significantly and demonstrably outweigh the benefits of the proposal. Accordingly, the application is recommended for approval.

Conclusion

117. In view of the considerations set out within this report, the application is recommended to be Approved with Conditions.

Financial Implications: No cost to the Council.
Contributions to Affordable housing

Environmental Implications As detailed in the report

Legal Implications None

Community Safety Implications

The provisions of Section 17 of the Crime and Disorder Act 1998 have been taken into account in the preparation of this report.

Human Rights Implications

The provisions of the European Convention of Human Rights 1950 have been taken into account in the preparation of this report.

Ward and Ward Councillors

Ward Southern Villages
Ward Councillor Councillor Elsi Hampton

Background Papers

National Planning Policy Framework
National Planning Practice Guidance
Stockton on Tees Local Plan Adopted 2019
SPD's
Application files

Name of Contact Officer: Elaine Atkinson

Post Title: Principal Planning Officer

Telephone number: 01642 526062

Email Address: Elaine.Atkinson@stockton.gov.uk



Land East Of Holdenfields Farm, Green Lane, Yarm

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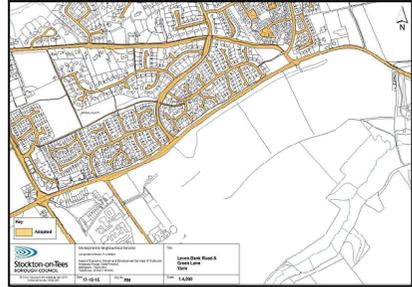


Land East Of Holdenfields Farm, Green Lane, Yarm

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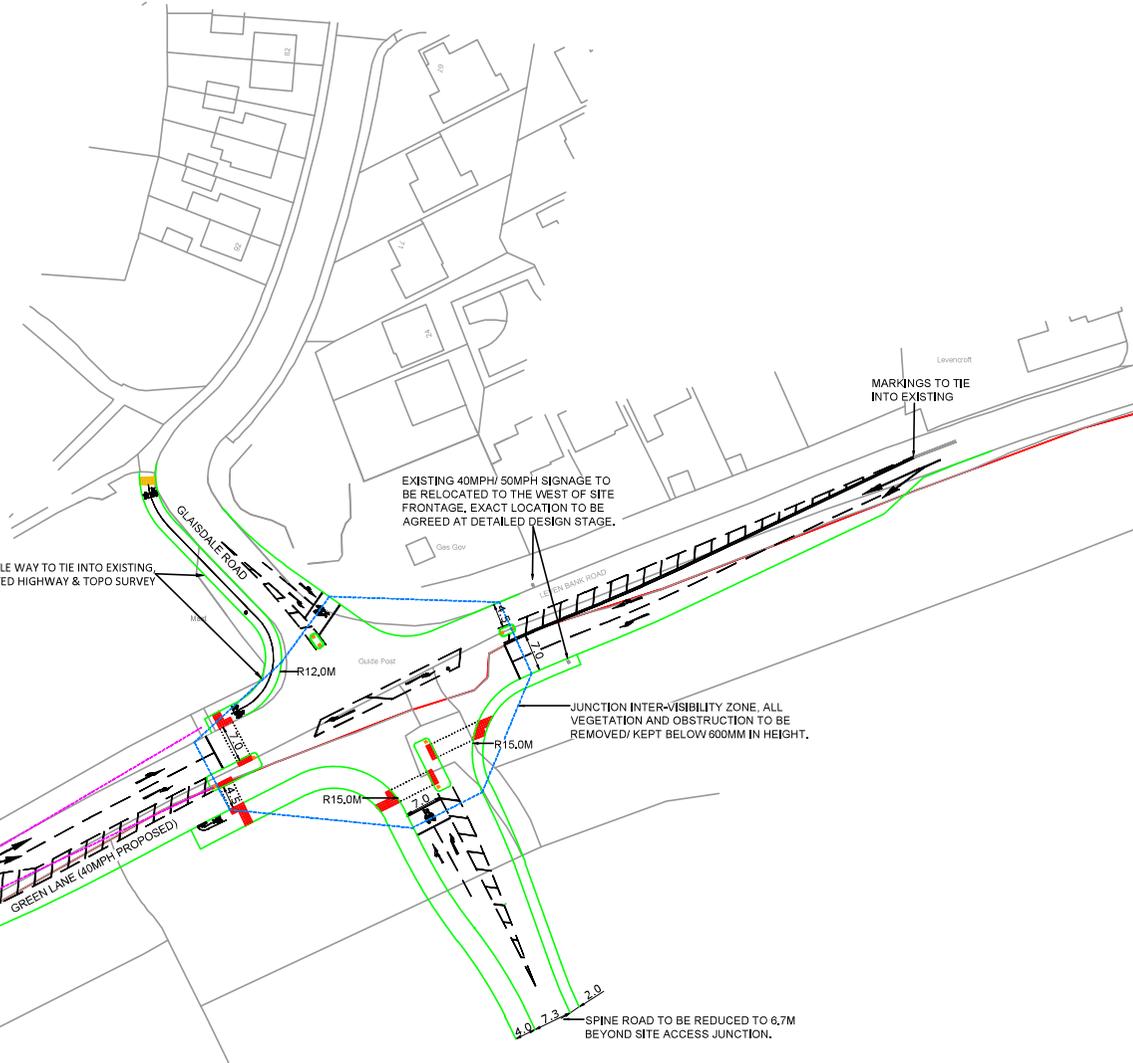


NORTH SOUTH AERIAL VIEW



ADOPTED HIGHWAY

APPENDIX C (GLASIDALE ROAD ACCESS)



NOTES

THIS IS NOT A CONSTRUCTION DRAWING AND IS FOR INDICATIVE PURPOSES ONLY. THE DRAWING WILL BE SUBJECT TO CHANGE FOLLOWING LOCAL AUTHORITY REVIEW AND CONFIRMATION OF PUBLIC HIGHWAY AND THIRD PARTY LAND BOUNDARIES.

- INDICATIVE SITE BOUNDARY
- DENOTES NEW KERBS

LOCAL AUTHORITY: STOCKTON-ON-TEES COUNCIL
TOTAL AREA OF SITE: 57.0Ha



SITE LAYOUT NTS

REV	DESCRIPTION	DRAWN	CHECKED	DATE
E	GENERAL AMENDMENTS TO PROPOSED DESIGN	SL	PJW	OCT 25
D	FOOTWAY AMENDED	LB	PJW	SEP 25
C	REVISED TO RSA	LB	PJW	JUL 25
B	SCALE BAR ADDED	LB	PJW	JUL 25
A	6.7M ANNOTATION ADDED	LB	PJW	MAY 25

CLIENT:
TAYLOR WIMPEY

PROJECT:
GREEN LANE, YARM

DRAWING TITLE:
PROPOSED SITE ACCESS PLAN

SCALES:
1:1000 @ A3

DRAWN: LB	CHECKED: PJW	DATE: JAN 25
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Eddisons
340 Deansgate
Manchester
M3 4LY

Email: info@crofts.co.uk
Tel: 0161 837 7380
Web: www.eddisons.com/services/transport-planning

DRAWING NUMBER: 0750-F11	REVISION: E
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NORTH SOUTH AERIAL VIEW



ADOPTED HIGHWAY

AS PART OF THE FOOTWAY/
CYCLEWAY WORKS TACTILE
PACING AND HAZARD
WARNING PAVING IS TO BE
PROVIDED.

AS PART OF THE FOOTWAY/
CYCLEWAY WORKS TACTILE
PACING AND HAZARD
WARNING PAVING IS TO BE
PROVIDED.

SHARED FOOTWAY/ CYCLEWAY
FOR FURTHER DETAILS REFER
TO 0750-F12.

NEW 3.0M SHARED
CYCLE/ FOOTWAY.

A104 GREEN LANE (ADW/PH PROPOSED)

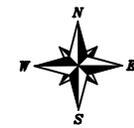
JUNCTION INTER-VISIBILITY
ZONE TO BE KEPT CLEAR OF
VEGETATION

R15.0M

SPINE ROAD TO BE REDUCED TO 6,7M
BEYOND SITE ACCESS JUNCTION.

ROAD MARKINGS TO
TIE INTO EXISTING

RELOCATED 40MPH TO 30MPH
TRANSITION MOVED WEST TO
INCLUDE NEW SIGNALISED JUNCTION



NOTES

THIS IS NOT A CONSTRUCTION DRAWING AND IS FOR INDICATIVE PURPOSES ONLY. THE DRAWING WILL BE SUBJECT TO CHANGE FOLLOWING LOCAL AUTHORITY REVIEW AND CONFIRMATION OF PUBLIC HIGHWAY AND THIRD PARTY LAND BOUNDARIES.

- INDICATIVE SITE BOUNDARY
 - DENOTES NEW KERBS
 - EXISTING ADOPTED HIGHWAY
- LOCAL AUTHORITY: STOCKTON-ON-TEES COUNCIL
TOTAL AREA OF SITE: 57.0Ha



SITE LAYOUT NTS

REV	DESCRIPTION	DRAWN	CHECKED	DATE
F	FOOTWAY AMENDED AMENDED TO RSA SCALE BAR ADDED	LB	PJW	SEP 25
C	6.7M ANNOTATION ADDED	LB	PJW	JUL 25
A	SITE ACCESS AMENDED SITE ACCESS AMENDED	LB	PJW	MAY 25
		LB	PJW	APR 25

CLIENT:
TAYLOR WIMPEY

PROJECT:
GREEN LANE, YARM

DRAWING TITLE:
PROPOSED SITE ACCESS PLAN

SCALES:
1:1000 @ A3

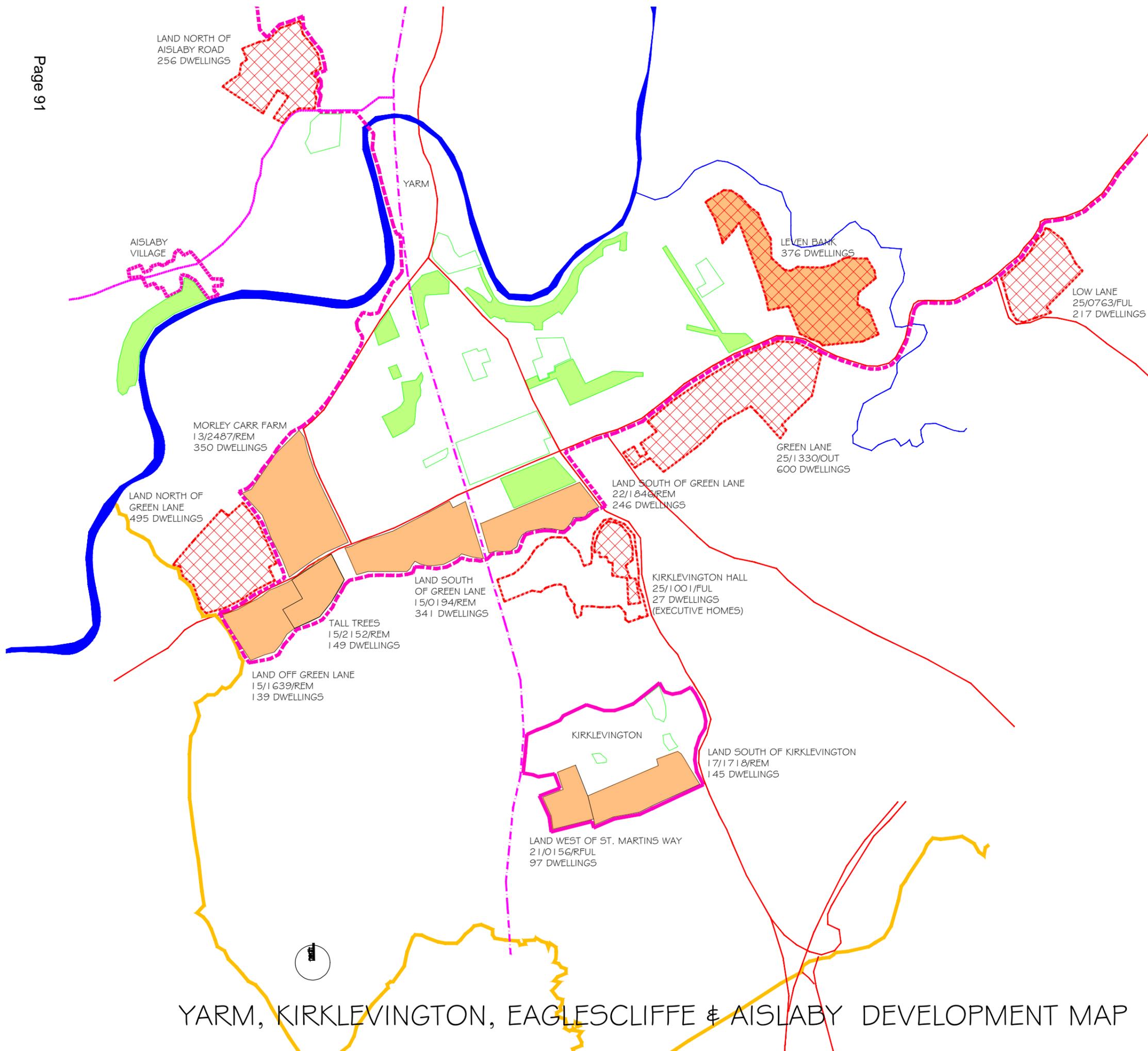
DRAWN: LB	CHECKED: PJW	DATE: MAR 25
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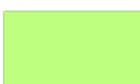
Eddisons
340 Deansgate
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M3 4LY
Email: info@crofts.co.uk
Tel: 0161 837 7380
Web: www.eddisons.com/services/transport-planning

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KEY	
	ALLOCATED HOUSING SITES
	PROPOSED HOUSING SITES
	OPEN SPACE
	PLAYING FIELDS
	RIVER TEES
	RAILWAY LINE
	ARTERIAL ROADS
	DEVELOPMENT LIMITS
	STOCKTON BOUNDARY

YARM, KIRKLEVINGTON, EAGLESCLIFFE & AISLABY DEVELOPMENT MAP

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Socio-Economic Benefits¹

and east of Holdenfields Farm

Construction of up to 600 dwellings (including up to 120 affordable dwellings)

Construction Benefits

£133.6million
Estimated construction investment over 9.4-year build programme

138
Direct construction roles and indirect/induced jobs supported during build phase

£85.0million GVA²
Economic output contribution from jobs supported by activities at the Site over 9.4-year build programme (at current prices)

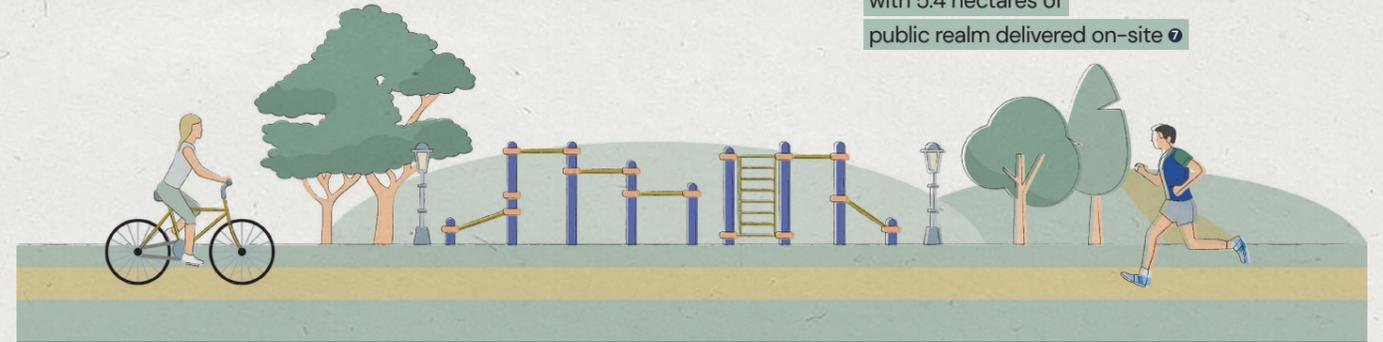


Built Environment Benefits³

£3.3million
In social value associated with local supply chain contribution from the Proposed Development³



£5.0million
In social value associated with 5.4 hectares of public realm delivered on-site⁷



Operational Benefits



629
Economically active residents in employment estimated to live in the new housing

£3.6million
Estimated first occupation expenditure⁴

90
FTE net additional on and off-site jobs supported by the operational phase activity



£4.7million
Total annual household expenditure to be retained within Stockton-on-Tees



47%
Of employed residents estimated to be working in higher value/higher income occupations

£1.2million
Estimated Council Tax income per annum⁴

£587,500
Estimated energy cost savings per annum from the Proposed Development



1,374 tonnes
Less carbon emitted by the dwellings at the Proposed Development



Social Value Benefits⁵

£982,375
Total social value as a result of 3,600 sq. m. of equipped play space provision on-site⁶



£169,405
Associated with the 15 apprenticeships supported during the scheme's construction sector¹¹

£58,200
Total social value per annum as a result of green open space delivered by the Proposed Development¹⁰



¹ Infographic compiled by Pegasus Group on behalf of the Applicant, using a combination of data analysis previously conducted by Savills UK on behalf of the Applicant, and additional research from Pegasus Group. See accompanying Socio-Economic Benefits Note for full details.
² Based on information provided by the Applicant.
³ Research suggests that the average homeowner spends approximately £5,000 to make their house 'feel like home' within 18-months of moving in (available here: https://www.hbr.co.uk/documents/7676/The_Economic_Footprint_of_UK_House_Building_July_2018LR.pdf). This has been updated to £6,000 to account for inflation using the Bank of England Deflator calculator.

⁴ Based on average sales prices from the nearby Oaklands, Kirklington development to estimate council tax.
⁵ Figures relate to Net Individual Value and are derived from the Built Environment Bank within the HACT Toolkit, version 6. Accessed December 2025.
⁶ Based on assumed multiplier of 175 and assumed project spend with local suppliers of just under £13.4million (10% of Total Construction Value - £133.6million).
⁷ Based on assumed 100% of total housing population at the Proposed Development.
⁸ Figures relate to (unless otherwise stated) Adjusted Total Social Value derived from the Social Value Bank within the HACT Toolkit, version 6. Accessed December 2025.

⁹ Assumed population of 272 residents aged 0-15 living at the Proposed Development (19.6% of total resident population), derived from 2021 Census data for Stockton-on-Tees.
¹⁰ Based on assumed 100% of dwellings at the Proposed Development. Figure for the social value of having green open space nearby per household is derived from the Homes England report 'Measuring Social Value - Paper 2: Brownfield Development Values, Homes England (November 2023). Available here - https://assets.publishing.service.gov.uk/media/65770c20467eb001355f53b/Brownfield_Development_Values.pdf.
¹¹ Figure for the number of apprenticeships supporting during the construction phase of the Proposed Development is derived from the Home Builders Federation Report 'The Economic Footprint of Home Building in England and Wales (September 2024). Available here - https://www.hbf.co.uk/documents/13965/The_Economic_Footprint_of_Home_Building_in_England_and_Wales_report_-_September_2024_vpdf

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DELEGATEDReport to Planning Committee
4 March 2026

Report of Director of Regeneration and Inclusive Growth

25/1001/FUL**Kirklevington Hall, Thirsk Road, Kirklevington****Expiry Date: 22 August 2025****Extension of Time Date: 4 March 2026****Summary**

Planning permission is sought for Hybrid planning application comprising;

1) Full application for refurbishment works and extensions to the hotel and Victorian stables and development of a new covered walkway from the hotel to the Victorian stable building; event pavilion; spa; demolition of the existing staff accommodation in the walled garden to be replaced by eight self-contained lodges and potting shed offices; car parking and associated works and

2) Outline planning permission for residential development comprising self-build residential plots, woodland lodges, and associated infrastructure..

The application site is outwith the development limits and within the boundaries of a non designated asset, however the benefits of the scheme have been weighed against the harm as detailed in the report.

The development has received a number of representations which have been considered in full.

The proposal is considered to be acceptable in planning terms in all other regards and is recommended for approval subject to those conditions as detailed within the report.

Recommendation(s)

That planning application 25/1001/FUL be approved subject to the following conditions and informatives and subject to, the applicant entering into a Section 106 Agreement in accordance with the Heads of Terms below;

01 Time Limit

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: By virtue of the provision of Section 91 of the Town and Country Planning Act 1990 (as amended).

02 Approved Plans

The development hereby approved shall be in accordance with the following approved plan(s);

Drawing Number

P122A-GSS-SE-XX-DR-A-(00)07 PO3
P122A-GSS-SE-XX-DR-A-(00)04 Rev P03
P122A-GSS-SE-XX-DR-A-(00)05 P03

Date Received

15 February 2026
11 December 2025
15 February 2026

P122A-GSS-SE-XX-DR-A-(00)08 Rev PO2	11 December 2025
P122A-GSS-SE-XX-DR-A-(00)10 Rev PO3	11 December 2025
P122A-GSS-SA-ZZ-DR-A-(00)07 Rev P01	15 May 2025
P122A-GSS-SA-ZZ-DR-A-(00)08 Rev P01	15 May 2025
P122A-GSS-SA-00-DR-A-(00)03 Rev P01	15 May 2025
P122A-GSS-SA-01-DR-A-(00)04 Rev P01	15 May 2025
P122A-GSS-SA-B1-DR-A-(00)02 Rev P01	15 May 2025
P122A-GSS-SA-ZZ-DR-A-(00)05 Rev P01	15 May 2025
P122A-GSS-SA-ZZ-DR-A-(00)06 Rev P01	15 May 2025
P122A-GSS-VS-00-DR-A-(00)09 Rev P01	15 May 2025
P122A-GSS-VS-01-DR-A-(00)10 Rev P01	15 May 2025
P122A-GSS-VS-B1-DR-A-(00)08 Rev P01	15 May 2025
P122A-GSS-VS-RL-DR-A-(00)11 Rev P01	15 May 2025
P122A-GSS-VS-ZZ-DR-A-(00)12 Rev P01	15 May 2025
P122A-GSS-VS-ZZ-DR-A-(00)13 Rev P01	15 May 2025
P122A-GSS-VS-XX-DR-A-(00)01 Rev P01	15 May 2025
P122A-GSS-HL-00-DR-A-(00)11 Rev P01	15 May 2025
P122A-GSS-HL-01-DR-A-(00)12 Rev P01	15 May 2025
P122A-GSS-HL-02-DR-A-(00)13 Rev P01	15 May 2025
P122A-GSS-HL-03-DR-A-(00)14 Rev P01	15 May 2025
P122A-GSS-HL-B1-DR-A-(00)10 Rev P01	15 May 2025
P122A-GSS-HL-ZZ-DR-A-(00)17 Rev P01	15 May 2025
P122A-GSS-HL-ZZ-DR-A-(00)18 Rev p01	15 May 2025
P122A-GSS-HL-ZZ-DR-A-(00)16 Rev P01	15 May 2025
P122A-GSS-HL-ZZ-DR-A-(00)15 Rev P01	15 May 2025
P122A-GSS-WG-ZZ-DR-A-(00)08 Rev P01	15 May 2025
P122A-GSS-WG-XX-DR-A-00 Rev P0111	15 May 2025
P122A-GSS-WG-RL-DR-A-(00)06 Rev P01	15 May 2025
P122A-GSS-WG-ZZ-DR-A-(00)07 Rev P01	15 May 2025
P122A-GSS-WG-ZZ-DR-A-(00)09 Rev P01	15 May 2025
P122A-GSS-WG-ZZ-DR-A-(00)10 Rev P01	15 May 2025
P122A-GSS-EP-00-DR-A-(00)01 Rev P01	15 May 2025
P122A-GSS-EP-ZZ-DR-A-(00)02 Rev P01	15 May 2025
P122A-GSS-SE-XX-DR-A-(00)06	15 May 2025
1648-1-1 Rev B	15 December 2025
1648-1-2i Rev A	15 December 2025
1648-1-5 Rev B	15 December 2025
1648-1-6 Rev B	15 December 2025
1648-1-7 Rev B	15 December 2025
1648-1-4 Rev A	15 December 2025
1648-1-3 Rev A	15 December 2025
1648-1-2ii rev A	15 December 2025

Reason: To define the consent.

3 Phasing Plan

No development shall commence until a phasing plan for the application site has been submitted to and been approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved phasing plan unless otherwise approved in writing with the Local Planning Authority.

Reason: To ensure that the development takes place in accordance with the conditions attached hereto, in so far as those conditions relate to each phase of development

4 Materials

Notwithstanding any description of the materials in the application no above ground construction shall be commenced until precise details to be used in the construction of the external walls and roofs of the new façade and extension to the building(s) have been approved in writing by the Local Planning Authority. The development shall proceed in accordance with those agreed details.

Reason: To enable the Local Planning Authority to control details of the proposed development

5 Existing and Proposed Site levels;

Notwithstanding the information submitted as part of the application, for each phase of newly built development, details of the existing and proposed site levels and finished floor levels shall be submitted to and approved by the Local Planning Authority prior to the commencement of the development. Work shall be undertaken in accordance with the approved scheme.

Reason: To define the consent and to ensure that the development does not adversely impact on the visual amenities of the area

6 Substation and Bin Store

Prior to erection full details of the proposed substation and bin store and the means of enclosure / screening shall be submitted and approved in writing by the local planning Authority. Work shall be undertaken in accordance with the approved details.

Reason: In the interests of visual amenity and to protect the adjacent residents from noise and disturbance.

7 Discharge of Surface Water

The development hereby approved shall not be commenced on site, until a scheme for 'the implementation, maintenance and management of a Sustainable Surface Water Drainage Scheme has first been submitted to and approved in writing by the Local Planning Authority. The scheme shall be implemented and thereafter managed and maintained in accordance with the approved details, the scheme shall include but not be restricted to providing the following details;

- I. Detailed design of the surface water management system; (for each phase of the development).
- II. A build programme and timetable for the provision of the critical surface water drainage infrastructure;
- III. A management plan detailing how surface water runoff from the site will be managed during the construction phase;
- IV. Details of adoption responsibilities

Reason: To ensure the site is developed in a manner that will not increase the risk of surface water flooding to site or surrounding area, in accordance with the Local Plan Policies SD5 & ENV4 and the National Planning Policy Framework.

8 Flood Risk Assessment

The development permitted by this planning permission shall only be carried out in accordance with the approved Flood Risk Assessment (FRA) & Drainage Strategy Rev B dated 06th November 2025.

The mitigation measures shall be fully implemented prior to the occupation and subsequently in accordance with the timing / phasing arrangements embodied within the scheme, or within any period as may subsequently be agreed, in writing, by the local planning authority.

Reason: To prevent flooding by ensuring the satisfactory storage of / disposal of surface water from the site and to reduce the risk of flooding to the proposed development and future occupants.

9 Discharge of Surface Water

The building hereby approved shall not be brought into use until:-

- I. Requisite elements of the approved surface water management scheme for the development, or any phase of the development are in place and fully operational to serve said building
- II. The drawings of all SuDS features have been submitted and approved in writing by the Local Planning Authority, the drawings should highlight all site levels, including the 30year and 100year+cc flood levels and confirmation of storage capacity
- III. A Management and maintenance plan of the approved Surface Water Drainage scheme has been submitted and approved in writing by the Local Planning Authority, this should include the funding arrangements and cover the lifetime of the development

Reason: To reduce flood risk and ensure satisfactory long-term maintenance are in place for the lifetime of the development.

10 Existing Drainage Infrastructure

No development shall commence until a full investigation of any existing drainage infrastructure associated with properties on Kirklevington Hall Drive has been carried out and submitted as part of the site-specific Flood Risk Assessment.

In the event that any previously unrecorded drainage infrastructure is identified, an accurate record of the infrastructure together with a scheme for its protection, repair, and/or maintenance through the development site shall be submitted to and approved in writing by the Local Planning Authority.

Development shall not proceed in any part of the site affected by such infrastructure until written approval has been granted. The development shall thereafter be carried out in full accordance with the approved details.

Reason: To ensure the site is developed in a manner that will not increase the risk of surface water flooding to site or surrounding area, in accordance with the Local Plan Policies SD5 & ENV4 and the National Planning Policy Framework

11 Foul and Surface Water

Development shall not commence until a detailed scheme for the disposal of foul and surface water from the development hereby approved has been submitted to and approved in writing by the Local Planning Authority in consultation with Northumbrian Water and the Lead Local Flood Authority. Thereafter the development shall take place in accordance with the approved details.

Reason: To prevent the increased risk of flooding from any sources in accordance with the NPPF.

12 Soft Landscaping

Prior to bring the hotel and facilities into use, full details of Soft Landscaping shall be submitted to and approved in writing by the Local Planning Authority in broad accordance with the approved landscaping plans. This will be a detailed planting plan and specification of works indicating soil depths, plant species, numbers, densities, locations inter relationship of plants, stock size and type, grass, and planting methods including construction techniques for pits in hard surfacing and root barriers. All works shall be in accordance with the approved plans. All existing or proposed utility services that may influence proposed tree planting shall be indicated on the planting plan. The scheme shall be completed in the first planting season following:

- (i) Commencement of the development;
- (ii) or agreed phases;
- (iii) or prior to the occupation of any part of the development;

and the development shall not be brought into use until the scheme has been completed to the satisfaction of the Local Planning Authority.

Any vegetation within a period of 5 years from the date of from the date of completion of the total works that is dying, damaged, diseased or in the opinion of the Local planning Authority is failing to thrive shall be replaced by the same species of a size at least equal to that of the adjacent successful planting in the next planting season.

Reason: To ensure a high quality planting scheme is provided in the interests of visual amenity which contributes positively to local character and enhances bio diversity.

13 Written Scheme of Investigation

No development (including demolition, ground works, vegetation clearance, etc...) shall commence until a Written Scheme of Investigation (WSI) setting out a programme of archaeological evaluation has been submitted to and approved in writing by the Local Planning Authority. The programme of archaeological work will then be carried out in accordance with the approved scheme of works, in sufficient time to inform the production of a Strategy for Archaeological Mitigation. The scheme shall include an assessment of significance and research questions; and:

1. The programme and methodology of site investigation and recording
2. The programme for post investigation assessment
3. Provision to be made for analysis of the site investigation and recording
4. Provision to be made for publication and dissemination of the analysis and records of the site investigation
5. Provision to be made for archive deposition of the analysis and records of the site investigation
6. Nomination of a competent person or persons/organisation to undertake the works set out within the Written Scheme of Investigation.
7. The timetable for completion of all site investigation and post-investigation works

Reason: To take account of archaeological deposits in accordance with the requirements of Stockton on Tees Local Plan Policy HE2.

14 Strategy for Archaeological Mitigation

No development (including demolition, ground works, vegetation clearance, etc...) shall commence until a Strategy for Archaeological Mitigation (SAM) and associated detailed phasing plan has been submitted to and approved in writing by the Local Planning Authority.

The SAM will set out the strategy for the preservation, investigation and recording of heritage assets in the development area, including the provision made for analysis, publication and dissemination of results, and archive deposition. A timetable for the completion of all site investigation and post-investigation works shall be included within the SAM. The development will then be carried out in accordance with the SAM.

No individual phase of the development (in accordance with the phasing plan as submitted) shall be brought into use until the Local Planning Authority has confirmed in writing that the associated requirements of the approved Strategy for Archaeological Mitigation, including post investigation processes which are relevant to that phase have been fulfilled, or alternative timescales agreed.

Reason: To take account of archaeological deposits in accordance with the requirements of Stockton on Tees Local Plan Policy HE2.

15 Bunker

The anti-aircraft operations bunker shall be retained on site unless otherwise agreed in writing with the local planning authority.

Reason: The bunker forms an important part of the site's history and it is considered a non-designated heritage asset to the Borough and its loss would be contrary to Policy HE2 of the location plan and NPPF paragraph 202 and 216

16 Contaminated Land Risk Assessment

No development approved by this planning permission (or such other date or stage in development as may be agreed in writing with the Local Planning Authority), shall take place until a scheme that includes the following components to deal with the risks associated with contamination of the site, have been submitted and approved in writing, by the local planning authority:

- a) A site investigation scheme, based on the Desk Top Study to provide information for a detailed assessment of the risk to all receptors that may be affected, including those off site.
- b) The results of the site investigation and detailed risk assessment referred to in (a) and, based on these, an options appraisal and remediation strategy giving full details of the remediation measures required and how they are to be undertaken.
- c) A verification plan providing details of the data that will be collected in order to demonstrate that the works set out in the remediation strategy in (b) are complete and identifying any requirements for longer-term monitoring of pollutant linkages, maintenance and arrangements for contingency action.

This must be undertaken in accordance with the Environment Agencies "Land Contamination Risk Management" Guidance (2023). Any changes to these components require the express written consent of the local planning authority. The scheme shall be implemented as approved.

Reason: To ensure new and existing development do not contribute or be put at unacceptable risk from or being adversely affected by unacceptable levels of water and land pollution.

17 Marquee

No music will be played within the hereby approved marquee within the walled garden, unless details of non-amplified and amplified music, amplification equipment and sound suppression measures (as appropriate) are first submitted to and approved in writing by the local planning authority. The submission of these details shall be via a noise impact assessment whereby the LFM_{max} sound from amplified and non-amplified music and speech shall not exceed the typical

minimum L90(5min), 1meter from the façade of any sensitive receptor in all third octave bands between 31.5Hz and 8kHz. Any details submitted pursuant to this condition will seek approval of appropriate management regimes, including hours of operation. Should mitigation measures be required these shall be installed upon agreement with the Local Planning Authority and then retained for the lifetime of the proposal.

Reason: In the interests of the amenity of the surrounding residents

18 Noise from Plant and Machinery (including hot tubs)

Prior to installation of any plant and machinery, including the proposed substation, a full noise impact assessment of the plant (individually and cumulatively, including noise from hot tubs and mechanical plant) should be undertaken and approved in writing prior to becoming operational whereby the rating level of the plant shall not exceed the background noise levels noted in table 4 overnight (23:00hrs- 07:00hrs) or those in table 4, +5dB for the day time (07:00- 23:00hrs).

These levels should be achieved at the façade of existing residential properties and proposed residential properties as part of this development whereby all measurements and assessments shall be made in accordance with the methodology of BS4142: 2014 (Methods for rating and assessing industrial and commercial sound) and/or its subsequent amendments.

Details of mitigation measures shall be submitted and once approved shall be retained for the lifetime of the proposal.

Reason: In the interests of the amenity of the surrounding residents

19 Holiday lets

The use of the walled garden for holiday lodges, as approved, must comply with the following requirements:

- i) the lodges accommodation shall be occupied for holiday purposes only and shall not be occupied as a person's permanent, sole or main place of residence;
- ii) ii) No let may exceed 31 days per calendar year;
- iii) iii) the owners/operators shall maintain an up to- date register of the names of all owners/occupiers of the accommodation, and of their main home addresses. The owner/operator shall advise the Local Planning Authority of the name and address of the holder of the records and shall make the information on the register available at all reasonable times to the Local Planning Authority.

Reason: The site is not suitable for permanent residential occupation

20 Site Management Plan

Prior to the bringing into use the holiday lets, a Site Management Plan shall be submitted to, and approved in writing by, the local planning authority. Thereafter, the approved development shall be carried out and operated in complete accordance with the agreed details. The Site Management Plan shall include, and provide details of:

- A quiet or curfew period and the management provisions to ensure compliance with the quiet or curfew period, which shall commence at 10pm (22:00 hours) each evening;
- Noise from the site is to be managed / controlled by staff at all times. A telephone number of the management should be made available should residents need to make a complaint.
- Any noise from the premises shall not cause a disturbance at the nearest residential premises.
- There shall be no music heard beyond the boundary of the site.
- The Site Management Plan shall set out provisions for periodic assessments of the noise coming from the site and shall take steps to reduce the level of noise where it is likely to

cause a disturbance to local residents. A written record shall be made of those assessments and shall include, the time and date of the checks, the person making them and the results including any remedial action. All records shall be retained for one year.

- There shall be no external music system installed.

Reason: In the interests of the amenity of the surrounding residents

21 Ecology and Biodiversity

Works shall be undertaken in accordance with the recommendations as detailed in Section 6 (Conclusions and Recommendations) of the Preliminary Ecological dated November 2025.

Any works on site that require clearing areas of scrub and vegetation in advance of any proposed development should be completed during the period September to February to avoid any disturbance to breeding birds between 1st March and 31st August. Where clearance does take place during the bird breeding season, a pre-clearance check of the area should be carried out by a suitability qualified ecologist.

Prior to works commencing on any buildings a checking survey for Bats should be undertaken to ensure that there are no protected species on site. Work should not proceed until this survey is completed and there is no presence of bats

Reason: To conserve protected species and their habitat where necessary

22 Ecology Survey

If work does not commence on each phase within 2 years from the date of the submitted ecology survey, a maximum of three months before works commencing on each phase/ plot a suitably qualified ecologist shall undertake a checking survey to ensure that no protected species or their habitat are present on site. The results of the survey shall be submitted and approved in writing by the local planning authority and identify any additional or revised mitigation measures required

Reason: To conserve protected species and their habitat where necessary

23 Habitat and wildlife

As detailed in BS 3998:2010, prior to work commencing, the trees and their surroundings should be assessed for the presence of protected species, some of which are subject to season-specific legislation. Any works should be planned so as to limit their potential adverse impact on wildlife generally. The timing of works should take account of the seasonal cycles of the species of fauna and flora concerned (including the nesting habits of birds and the egg-laying habits of insects).

Reason: In compliance with the Habitat Regulations and Countryside and Wildlife Act.

24 Biodiversity Net Gain

Prior to the commencement of work an Overall Biodiversity Gain Plan must be submitted to and approved by the planning authority before the development can begin; and thereafter a Phase Biodiversity Gain Plan for each phase must be submitted to and approved by the planning authority before the development of that phase can begin.

Reason: In the interests of ensuring measurable net gains to biodiversity and to allow the Local Planning Authority to discharge its duties in accordance with Policies SD5, SD8 and ENV5 of the Stockton-on-Tees Local Plan and Schedule 7A of the Town and County

Planning Act 1990 (as amended) as modified by The 'Biodiversity Gain (Town and Country Planning) (Modifications and Amendments) (England) Regulations 2024.

25 Habitat Management and Monitoring Plan

Prior to the commencement of works on each phase a Habitat Management and Monitoring Plan (HMMP) has been prepared in accordance with the approved Biodiversity Gain Plan and has been submitted to and approved in writing by the Local Planning Authority. The HMMP shall include:

- (a) a non-technical summary;
 - (b) the roles and responsibilities of the people or organisation(s) delivering the HMMP;
 - (c) the planned habitat creation and enhancement works to create or improve habitat to achieve the biodiversity net gain in accordance with the approved Biodiversity Gain Plan;
 - (d) the management measures to maintain habitat in accordance with the approved Biodiversity Gain Plan for a period of 30 years from the practical completion of the development or the first occupation of the development, whichever is the sooner
- Monitoring reports will be submitted to the Council during years 2,5, 7, 10, 20 and 30 from commencement of development unless otherwise stated in the Biodiversity Management Plan, demonstrating how the BNG is progressing towards achieving its objectives, evidence of arrangements and any rectifying measures needed.

Reason: To ensure the proposed habitat creation and/or enhancements are suitably managed and monitored to ensure development delivers a biodiversity net gain in accordance with Schedule 7A of the Town and Country Planning Act 1990.

26 Construction Traffic Management Plan

Within each phase, no development shall take place, until a Construction Management Plan has been submitted to, and approved in writing by, the local planning authority. The Construction Management Plan shall provide details of:

- i. the site construction access(es)
- ii. the parking of vehicles of site operatives and visitors;
- iii. loading and unloading of plant and materials including any restrictions on delivery times;
- iv. storage of plant and materials used in constructing the development;
- v. the erection and maintenance of security hoarding including decorative displays and facilities for public viewing,
- vi. measures to be taken, including but not limited to wheel washing facilities and the use of mechanical road sweepers operating at regular intervals or as and when necessary, to avoid the deposit of mud, grit and dirt on the public highway by vehicles travelling to and from the site;
- vii. measures to control and monitor the emission of dust and dirt during construction;
- viii. a Site Waste Management Plan;
- ix. details of the HGVs routing including any measures necessary to minimise the impact on other road users;
- x. measures to protect existing footpaths and verges; and;
- xi. a means of communication with local residents.

The approved Construction Management Plan shall be adhered to throughout the construction period.

Reason: In the interests of highway safety and residential amenity

27 Construction Environmental Management Plan

No part of the development hereby approved shall commence until a Construction Environmental Management Plan (CEMP) has been submitted to and approved in writing by the Local Planning Authority for each phase. The CEMP shall set out, as a minimum, site specific measures to control and monitor impact arising in relation to noise and vibration, dust and air pollutants (in broad accordance with the Air Quality Assessment), land contamination and ecology. The CEMP shall include measures to effectively control dust emissions from the site works, in accordance with an impact assessment undertaken in accordance with the IAQM guidance, this shall address earth moving activities, control and treatment of stockpiles.

It shall also set out arrangements by which the developer shall maintain communication with businesses and residential premises in the vicinity of the site, and by which the developer shall monitor and document compliance with the measures set out in the CEMP. The development shall be carried out in full accordance with the approved CEMP at all times.

Reason: In the interests of protecting the environment.

28 Tree Retention

Notwithstanding the submitted information, unless shown for removal on the approved landscaping plans, all trees and hedges within and to the boundaries of the application site shall be retained and maintained for the lifetime of the development. No tree, shrub or hedge shall be cut down, uprooted or destroyed, topped or lopped other than in accordance with any approved plans submitted as part of a reserved matters application.

Any tree, shrub or hedge or any tree, shrub or hedge that dies or is removed, uprooted or destroyed or becomes seriously damaged or defective must be replaced by another of the same size and species unless directed in writing by the Local Planning Authority.

Reason: To protect the existing trees/shrubs and hedges on site that the Local Planning Authority consider to be an important visual amenity in the locality and should be appropriately maintained.

29 Energy Efficiency

Prior to the erection of the SPA, an Energy Statement shall be submitted to and approved in writing by the Local Planning Authority for each phase of development. The statement shall identify the predicted energy consumption, the associated CO2 emissions and how the energy hierarchy has been applied to the development, including an investigation into the feasibility and viability of connection to decentralised energy networks for heat and power and the achievement of a "Very Good" BREEAM rating for the scheme. The statement shall set out the feasibility and viability of achieving a minimum 10% reduction in CO2 emissions from the development, over and above current Building Regulations Part L requirements, or a minimum of 10% of the total predicted energy requirements of the development will be generated from renewable energy sources. Development shall be carried out thereafter in a manner that incorporates any feasible and viable measures identified.

Reason: Reason: In the interests of promoting sustainable development in accordance with the requirements of Local Plan Policy ENV1

30 Electric Vehicle Charging

Prior to the construction of the car parks, a scheme for the provision of electrical charging points for the charging of electrical motor vehicles, shall be submitted and approved in writing by the local planning authority. The charging points shall be in place prior to the occupation of the building in each phase.

Reason:-to ensure a satisfactory form of development

31 Construction working Hours

No construction/building works or deliveries associated with the construction phase of the development shall be carried out except between the hours of 8.00am and 6.00pm on Mondays to Fridays and between 9.00am and 1.00pm on Saturdays. There shall be no construction activity including demolition on Sundays or on Bank Holidays.

Reason: To avoid excessive noise and disturbance to the occupants of nearby properties.

32 Unexpected land Contamination

In the event that unexpected contamination is found at any time when carrying out the approved development, it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken, in accordance with best practice guidance, the details of which are to be agreed in writing with the Local Planning Authority in advance. Where remediation is shown to be necessary a remediation scheme must be prepared and submitted to the Local Planning Authority for approval in writing in advance.

Reason: To ensure that risks from land contamination to the future uses of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out without unacceptable risk to receptors.

CONDITIONS FOR THE OUTLINE APPLICATION

01 Reserved Matters - Time Period for submission

Application for the approval of reserved matters shall be made to the Local Planning Authority before the expiration of 3 years from the date of this permission.

Reason: By virtue of the provisions of Section 92 of the Town and Country Planning Act 1990.

02 Period for Commencement

The development hereby permitted shall be begun either before the expiration of 3 years from the date of this permission, or before the expiration of 2 years from the date of approval of the last of the reserved matters to be approved, whichever is the latest.

Reason: By virtue of the provisions of Section 92 of the Town and Country Planning Act 1990.

03 Reserved Matters – Details

Notwithstanding the submitted plans, approval of the details of the Appearance, Landscaping, Layout and Scale of the development known as the 'Reserved Matters' shall be obtained in writing from the Local Planning Authority before the development is commenced. The development shall be carried out in accordance with the approved plans

Reason: To reserve the rights of the Local Planning Authority with regard to these matters

04 Approved Plans

The development hereby approved shall be in accordance with the following approved plan(s);

Plan Number	Date Received
P122A-GSS-SE-XX-DR-A-(00)07`PO3	15 February 2026

05 Phasing Plan

No development shall commence until a phasing plan for the application site has been submitted to and been approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved phasing plan unless otherwise approved in writing with the Local Planning Authority.

Reason: To ensure that the development takes place in accordance with the conditions attached hereto, in so far as those conditions relate to each phase of development

06 Design Code

The reserved matters applications for the self-build housing shall be informed by and be in broad accordance with the Executive Housing – Design Code Document Issued on the 11 December 2025.

Reason: In the interests of the visual amenities of the area

07 Woodland Lodges

Woodland lodges sited in areas where there are tree clearings. Should trees be removed, the reserved matter application shall be accompanied by an Arboricultural Assessment and Tree Protection Plan. Work shall be undertaken in accordance with the approved details.

Reason; To ensure there is no adverse impact on the Woodland and the lodges are sited in areas of less Arboricultural/ecological value.

08 Woodland Lodges

Prior to the occupation of the Woodland Lodges, a suitable trespass proof fence adjacent to Network Rail's boundary (approx. 1.8m high) shall be provided and the developer shall make provision for its future renewal and maintenance. Network Rail's existing fencing/wall must not be removed or damaged.

Reason: In the interests of the safety and integrity of the railway.

09 Existing and Proposed Site levels;

Notwithstanding the information submitted as part of the application, for each phase of newly built development, details of the existing and proposed site levels and finished floor levels shall be submitted to and approved by the Local Planning Authority prior to the commencement of the development. Work shall be undertaken in accordance with the approved scheme.

Reason: To define the consent and to ensure that the development does not adversely impact on the visual amenities of the area

10 Discharge of Surface Water

The development hereby approved shall not be commenced on site, until a scheme for 'the implementation, maintenance and management of a Sustainable Surface Water Drainage Scheme has first been submitted to and approved in writing by the Local Planning Authority.

The scheme shall be implemented and thereafter managed and maintained in accordance with the approved details, the scheme shall include but not be restricted to providing the following details;

- I. Detailed design of the surface water management system; (for each phase of the development).
- II. A build programme and timetable for the provision of the critical surface water drainage infrastructure;
- III. A management plan detailing how surface water runoff from the site will be managed during the construction phase;
- IV. Details of adoption responsibilities

Reason: To ensure the site is developed in a manner that will not increase the risk of surface water flooding to site or surrounding area, in accordance with the Local Plan Policies SD5 & ENV4 and the National Planning Policy Framework.

11 Flood Risk Assessment

The development permitted by this planning permission shall only be carried out in accordance with the approved Flood Risk Assessment (FRA) & Drainage Strategy Rev B dated 06th November 2025.

The mitigation measures shall be fully implemented prior to the occupation and subsequently in accordance with the timing / phasing arrangements embodied within the scheme, or within any period as may subsequently be agreed, in writing, by the local planning authority.

Reason: To prevent flooding by ensuring the satisfactory storage of / disposal of surface water from the site and to reduce the risk of flooding to the proposed development and future occupants.

12 Discharge of Surface Water

The building hereby approved shall not be brought into use until:-

- I. Requisite elements of the approved surface water management scheme for the development, or any phase of the development are in place and fully operational to serve said building
- II. The drawings of all SuDS features have been submitted and approved in writing by the Local Planning Authority, the drawings should highlight all site levels, including the 30year and 100year+cc flood levels and confirmation of storage capacity
- III. A Management and maintenance plan of the approved Surface Water Drainage scheme has been submitted and approved in writing by the Local Planning Authority, this should include the funding arrangements and cover the lifetime of the development

Reason: To reduce flood risk and ensure satisfactory long-term maintenance are in place for the lifetime of the development.

13 Existing Drainage Infrastructure

No development shall commence until a full investigation of any existing drainage infrastructure associated with properties on Kirklevington Hall Drive has been carried out and submitted as part of the site-specific Flood Risk Assessment.

In the event that any previously unrecorded drainage infrastructure is identified, an accurate record of the infrastructure together with a scheme for its protection, repair, and/or maintenance through the development site shall be submitted to and approved in writing by the Local Planning Authority.

Development shall not proceed in any part of the site affected by such infrastructure until written approval has been granted. The development shall thereafter be carried out in full accordance with the approved details.

Reason: To ensure the site is developed in a manner that will not increase the risk of surface water flooding to site or surrounding area, in accordance with the Local Plan Policies SD5 & ENV4 and the National Planning Policy Framework

14 Foul and Surface Water

Development shall not commence until a detailed scheme for the disposal of foul and surface water from the development hereby approved has been submitted to and approved in writing by the Local Planning Authority in consultation with Northumbrian Water and the Lead Local Flood Authority. Thereafter the development shall take place in accordance with the approved details.

Reason: To prevent the increased risk of flooding from any sources in accordance with the NPPF.

15 Written Scheme of Investigation

No development (including demolition, ground works, vegetation clearance, etc...) shall commence until a Written Scheme of Investigation (WSI) setting out a programme of archaeological evaluation has been submitted to and approved in writing by the Local Planning Authority. The programme of archaeological work will then be carried out in accordance with the approved scheme of works, in sufficient time to inform the production of a Strategy for Archaeological Mitigation. The scheme shall include an assessment of significance and research questions; and:

1. The programme and methodology of site investigation and recording
2. The programme for post investigation assessment
3. Provision to be made for analysis of the site investigation and recording
4. Provision to be made for publication and dissemination of the analysis and records of the site investigation
5. Provision to be made for archive deposition of the analysis and records of the site investigation
6. Nomination of a competent person or persons/organisation to undertake the works set out within the Written Scheme of Investigation.
7. The timetable for completion of all site investigation and post-investigation works

Reason: To take account of archaeological deposits in accordance with the requirements of Stockton on Tees Local Plan Policy HE2.

16 Strategy for Archaeological Mitigation

No development (including demolition, ground works, vegetation clearance, etc...) shall commence until a Strategy for Archaeological Mitigation (SAM) and associated detailed phasing plan has been submitted to and approved in writing by the Local Planning Authority. The SAM will set out the strategy for the preservation, investigation and recording of heritage assets in the development area, including the provision made for analysis, publication and dissemination of results, and archive deposition. A timetable for the completion of all site investigation and post-investigation works shall be included within the SAM. The development will then be carried out in accordance with the SAM.

No individual phase of the development (in accordance with the phasing plan as submitted) shall be brought into use until the Local Planning Authority has confirmed in writing that the associated requirements of the approved Strategy for Archaeological Mitigation, including

post investigation processes which are relevant to that phase have been fulfilled, or alternative timescales agreed.

Reason: To take account of archaeological deposits in accordance with the requirements of Stockton on Tees Local Plan Policy HE2.

17 Bunker

The anti-aircraft operations bunker shall be retained on site unless otherwise agreed in writing with the local planning authority.

Reason: The bunker forms an important part of the site's history and it is considered a non-designated heritage asset to the Borough and its loss would be contrary to Policy HE2 of the location plan and NPPF paragraph 202 and 216

18 Contaminated Land Risk Assessment

No development approved by this planning permission (or such other date or stage in development as may be agreed in writing with the Local Planning Authority), shall take place until a scheme that includes the following components to deal with the risks associated with contamination of the site, have been submitted and approved in writing, by the local planning authority:

- a) A site investigation scheme, based on the Desk Top Study to provide information for a detailed assessment of the risk to all receptors that may be affected, including those off site.
- b) The results of the site investigation and detailed risk assessment referred to in (a) and, based on these, an options appraisal and remediation strategy giving full details of the remediation measures required and how they are to be undertaken.
- c) A verification plan providing details of the data that will be collected in order to demonstrate that the works set out in the remediation strategy in (b) are complete and identifying any requirements for longer-term monitoring of pollutant linkages, maintenance and arrangements for contingency action.

This must be undertaken in accordance with the Environment Agencies "Land Contamination Risk Management" Guidance (2023). Any changes to these components require the express written consent of the local planning authority. The scheme shall be implemented as approved.

Reason: To ensure new and existing development do not contribute or be put at unacceptable risk from or being adversely affected by unacceptable levels of water and land pollution.

19 Noise from Plant and Machinery (including hot tubs)

Prior to installation of any plant and machinery, a full noise impact assessment of the plant (individually and cumulatively, including noise from hot tubs and mechanical plant) should be undertaken and approved in writing prior to becoming operational whereby the rating level of the plant shall not exceed the background noise levels noted in table 4 overnight (23:00hrs-07:00hrs) or those in table 4, +5dB for the day time (07:00- 23:00hrs).

These levels should be achieved at the façade of existing residential properties and proposed residential properties as part of this development whereby all measurements and assessments shall be made in accordance with the methodology of BS4142: 2014 (Methods for rating and assessing industrial and commercial sound) and/or its subsequent amendments.

Details of mitigation measures shall be submitted and once approved shall be retained for the lifetime of the proposal.

Reason: In the interests of the amenity of the surrounding residents

20 Acoustic, Ventilation, Overheating Design – Residential Plots

If BS8233 internal noise levels cannot be achieved with openable windows then the developer needs to consider implementing good acoustic design as required within ProPG, <https://www.ioa.org.uk/publications/propg> such as the following:

- Increase distance away from the noise source
- Layout/ orientation of properties and amenity areas
- Internal layout of properties so liveable rooms and main bedrooms are situated furthest away from the noise source.
- Acoustic Fencing/ mounding

Where the above have been considered and there is still a requirement for windows to be closed to achieve BS8233 internal noise levels an Acoustic, Ventilation and Overheating assessment should be undertaken. The assessments and any required acoustic mitigation measures should be interlinked. An internal assessment should also be made of any noise emitted from mechanical ventilation plant (if required) which when in use should not exceed internal noise levels specified within BS8233, or the following:

- Living Rooms (Day and Night-time) – NR30
- Bedroom (Daytime)- NR30
- Bedrooms (Night-time)- NR25

Reason: In the interests of good design and to ensure the amenity of future residents.

21 Woodland Lodges

The use of the woodland lodges, as approved, must comply with the following requirements:

- I. the lodges accommodation shall be occupied for holiday purposes only and shall not be occupied as a person's permanent, sole or main place of residence;
- II. No let may exceed 31 days per calendar year;
- III. the owners/operators shall maintain an up to- date register of the names of all owners/occupiers of the accommodation, and of their main home addresses. The owner/operator shall advise the Local Planning Authority of the name and address of the holder of the records and shall make the information on the register available at all reasonable times to the Local Planning Authority.

Reason: The site is not suitable for permanent residential occupation

21 Site Management Plan

Prior to the bringing into use the woodland lodges, a Site Management Plan shall be submitted to, and approved in writing by, the local planning authority. Thereafter, the approved development shall be carried out and operated in complete accordance with the agreed details. The Site Management Plan shall include, and provide details of:

- A quiet or curfew period and the management provisions to ensure compliance with the quiet or curfew period, which shall commence at 10pm (22:00 hours) each evening;
- Noise from the site is to be managed / controlled by staff at all times. A telephone number of the management should be made available should residents need to make a complaint.
- Any noise from the premises shall not cause a disturbance at the nearest residential premises.
- There shall be no music heard beyond the boundary of the site.
- The Site Management Plan shall set out provisions for periodic assessments of the noise coming from the site and shall take steps to reduce the level of noise where it is likely to cause a disturbance to local residents. A written record shall be made of those assessments and shall include, the time and date of the checks, the person making them and the results including any remedial action. All records shall be retained for one year.

- There shall be no external music system installed.

Reason: In the interests of the amenity of the surrounding residents

22 Ecology and Biodiversity

Works shall be undertaken in accordance with the recommendations as detailed in Section 6 (Conclusions and Recommendations) of the Preliminary Ecological dated November 2025.

Any works on site that require clearing areas of scrub and vegetation in advance of any proposed development should be completed during the period September to February to avoid any disturbance to breeding birds between 1st March and 31st August. Where clearance does take place during the bird breeding season, a pre-clearance check of the area should be carried out by a suitability qualified ecologist.

Details of external lighting for the the woodland lodges and pathways shall be submitted to and agreed in writing by the Local Planning Authority before development is commenced and the lighting shall be implemented wholly in accordance with the agreed scheme prior to occupation. The lighting shall be installed and arranged to ensure the impact on the wildlife and habitat is minimised.

Reason: To conserve protected species and their habitat where necessary

23 Ecology Survey

If work does not commence on each phase / plot within 2 years from the date of the submitted ecology survey, a maximum of three months before works commencing on each phase/ plot a suitably qualified ecologist shall undertake a checking survey to ensure that no protected species or their habitat are present on site. The results of the survey shall be submitted and approved in writing by the local planning authority and identify any additional or revised mitigation measures required

Reason: To conserve protected species and their habitat where necessary

24 Habitat and wildlife

As detailed in BS 3998:2010, prior to work commencing, the trees and their surroundings should be assessed for the presence of protected species , some of which are subject to season-specific legislation. Any works should be planned so as to limit their potential adverse impact on wildlife generally. The timing of works should take account of the seasonal cycles of the species of fauna and flora concerned (including the nesting habits of birds and the egg-laying habits of insects).

Reason: In compliance with the Habitat Regulations and Countryside and Wildlife Act.

25 Biodiversity Net Gain

Prior to the commencement of work an Overall Biodiversity Gain Plan must be submitted to and approved by the planning authority before the development can begin; and thereafter a Phase Biodiversity Gain Plan for each phase must be submitted to and approved by the planning authority before the development of that phase can begin.

Reason: In the interests of ensuring measurable net gains to biodiversity and to allow the Local Planning Authority to discharge its duties in accordance with Policies SD5, SD8 and ENV5 of the Stockton-on-Tees Local Plan and Schedule 7A of the Town and County Planning Act 1990 (as amended) as modified by The 'Biodiversity Gain (Town and Country Planning) (Modifications and Amendments) (England) Regulations 2024.

26 Habitat Management and Monitoring Plan

Prior to the commencement of works on each phase a Habitat Management and Monitoring Plan (HMMP) has been prepared in accordance with the approved Biodiversity Gain Plan and has been submitted to and approved in writing by the Local Planning Authority. The HMMP shall include:

- (a) a non-technical summary;
 - (b) the roles and responsibilities of the people or organisation(s) delivering the HMMP;
 - (c) the planned habitat creation and enhancement works to create or improve habitat to achieve the biodiversity net gain in accordance with the approved Biodiversity Gain Plan;
 - (d) the management measures to maintain habitat in accordance with the approved Biodiversity Gain Plan for a period of 30 years from the practical completion of the development or the first occupation of the development, whichever is the sooner
- Monitoring reports will be submitted to the Council during years 2,5, 7, 10, 20 and 30 from commencement of development unless otherwise stated in the Biodiversity Management Plan, demonstrating how the BNG is progressing towards achieving its objectives, evidence of arrangements and any rectifying measures needed.

Reason: To ensure the proposed habitat creation and/or enhancements are suitably managed and monitored to ensure development delivers a biodiversity net gain in accordance with Schedule 7A of the Town and Country Planning Act 1990.

27 Construction Traffic Management Plan

Within each phase/plot development, no development shall take place, until a Construction Management Plan has been submitted to, and approved in writing by, the local planning authority. The Construction Management Plan shall provide details of:

- xii. the site construction access(es)
- xiii. the parking of vehicles of site operatives and visitors;
- xiv. loading and unloading of plant and materials including any restrictions on delivery times;
- xv. storage of plant and materials used in constructing the development;
- xvi. the erection and maintenance of security hoarding including decorative displays and facilities for public viewing,
- xvii. measures to be taken, including but not limited to wheel washing facilities and the use of mechanical road sweepers operating at regular intervals or as and when necessary, to avoid the deposit of mud, grit and dirt on the public highway by vehicles travelling to and from the site;
- xviii. measures to control and monitor the emission of dust and dirt during construction;
- xix. a Site Waste Management Plan;
- xx. details of the HGVs routing including any measures necessary to minimise the impact on other road users;
- xxi. measures to protect existing footpaths and verges; and;
- xxii. a means of communication with local residents.

The approved Construction Management Plan shall be adhered to throughout the construction period.

Reason: In the interests of highway safety and residential amenity

28 Construction Environmental Management Plan

Within each phase/plot development, no part of the development hereby approved shall commence until a Construction Environmental Management Plan (CEMP) has been

submitted to and approved in writing by the Local Planning Authority for each phase. The CEMP shall set out, as a minimum, site specific measures to control and monitor impact arising in relation to noise and vibration, dust and air pollutants (in broad accordance with the Air Quality Assessment), land contamination and ecology. The CEMP shall include measures to effectively control dust emissions from the site works, in accordance with an impact assessment undertaken in accordance with the IAQM guidance, this shall address earth moving activities, control and treatment of stockpiles.

It shall also set out arrangements by which the developer shall maintain communication with businesses and residential premises in the vicinity of the site, and by which the developer shall monitor and document compliance with the measures set out in the CEMP. The development shall be carried out in full accordance with the approved CEMP at all times.

Reason: In the interests of protecting the environment.

29 Tree Retention

Notwithstanding the submitted information, unless shown for removal on the approved landscaping plans, all trees and hedges within and to the boundaries of the application site shall be retained and maintained for the lifetime of the development. No tree, shrub or hedge shall be cut down, uprooted or destroyed, topped or lopped other than in accordance with any approved plans submitted as part of a reserved matters application.

Any tree, shrub or hedge or any tree, shrub or hedge that dies or is removed, uprooted or destroyed or becomes seriously damaged or defective must be replaced by another of the same size and species unless directed in writing by the Local Planning Authority.

Reason: To protect the existing trees/shrubs and hedges on site that the Local Planning Authority consider to be an important visual amenity in the locality and should be appropriately maintained.

30 Energy Efficiency

Prior to the commencement of development each phase/plot, an energy statement identifying how the predicted CO2 emissions of the development will be reduced by at least 10% through the use of on-site renewable energy equipment or design efficiencies shall be submitted and approved in writing by the local planning authority. The carbon savings which result from this will be above and beyond what is required to comply with Part L Building Regulations. Before the development is occupied the renewable energy equipment or design efficiency measures shall have been installed and the local planning authority shall be satisfied that their day-to-day operation will provide energy for the development for so long as the development remains in existence.

Reason: Reason: In the interests of promoting sustainable development in accordance with the requirements of Local Plan Policy ENV1

31 Construction working Hours

No construction/building works or deliveries associated with the construction phase of the development shall be carried out except between the hours of 8.00am and 6.00pm on Mondays to Fridays and between 9.00am and 1.00pm on Saturdays. There shall be no construction activity including demolition on Sundays or on Bank Holidays.

Reason: To avoid excessive noise and disturbance to the occupants of nearby properties.

32 Unexpected land Contamination

In the event that unexpected contamination is found at any time when carrying out the approved development, it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken, in accordance with best practice guidance, the details of which are to be agreed in writing with the Local Planning Authority in advance. Where remediation is shown to be necessary a remediation scheme must be prepared and submitted to the Local Planning Authority for approval in writing in advance.

Reason: To ensure that risks from land contamination to the future uses of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out without unacceptable risk to receptors.

33 Permitted Development Rights – No extensions / alterations or outbuildings

Notwithstanding the provisions of classes A, AA, B, C, D and E of Part 1, Schedule 2 of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any order revoking and re-enacting that Order), the buildings hereby approved shall not be extended or altered in any way, nor any ancillary buildings erected within the curtilage without the written approval of the Local Planning Authority

Reason: In order that the local planning authority may exercise further control in order to protect the character and appearance of the area and the amenity of adjoining residents and landscaping features.

34 Permitted Development Rights - means of enclosure

Notwithstanding the provisions of Part 2, Schedule 2 of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any order revoking and re-enacting that Order), unless in accordance with the approved design guide, no gates, fences, walls or other means of enclosure shall be erected between the front, side or rear walls of any dwelling without the written approval of the Local Planning Authority.

Reason: In order that the local planning authority may exercise further control in order to protect character and appearance of the area and the amenity of adjoining residents.

Informatives

Informative: Working Practices

The Local Planning Authority has worked in a positive and proactive manner and sought solutions to problems arising in dealing with the planning application by gaining additional information required to assess the scheme and by the identification and imposition of appropriate planning conditions.

Informative: Reserved matters

When submitting the application(s) for reserved matters; the reserved matters should include the following details

"layout" means the way in which buildings, routes and open spaces within the development are provided, situated and orientated in relation to each other and to buildings and spaces outside the development;

"appearance" means the aspects of a building or place within the development which determines the visual impression the building or place makes, including the external built form of the development, its architecture, materials, decoration, lighting, colour and texture;

"scale" means the height, width and length of each building proposed within the development in relation to its surroundings;

"landscaping", in relation to a site or any part of a site for which outline planning permission has been granted or, as the case may be, in respect of which an application for such permission has been made, means the treatment of land (other than buildings) for the purpose of enhancing or protecting the amenities of the site and the area in which it is situated and includes—

- (a) screening by fences, walls or other means;
- (b) the planting of trees, hedges, shrubs or grass;
- (c) the formation of banks, terraces or other earthworks;
- (d) the laying out or provision of gardens, courts, squares, water features, sculpture or public art; and
- (e) the provision of other amenity features;

Informative: Bunker

Consideration should be given to the repair, retention and reuse of this important local heritage asset which could be reused in imaginative ways to the benefit of the new development (NPPF para 203). Adequate justification would be required for the total loss of this non-designated heritage asset

Informative: NWL

We can inform you that a sewerage rising main and water main cross the site and may be affected by the proposed development. Northumbrian Water does not permit a building over or close to our apparatus. We will work with the developer to establish the exact location of our assets and ensure any necessary diversion, relocation or protection measures required prior to the commencement of the development. This is an informative only and does not materially affect the consideration of the planning application.

There is a 32mm PE pipe connection shown on the NWL mapping heading northeast across the field north of Kirklevington Hall Drive. This pipe is believed to be the water supply which serves The Lodge at the northern end of Kirklevington Hall Drive and must be retained or diverted without disruption to the resident.

The applicant should develop their foul water drainage solution by working through the Hierarchy of

Preference contained within Revised Part H of the Building Regulations 2010. Namely Soakaway; Watercourse, and finally Sewer

The developer should contact Northumbrian Water to agree allowable discharge rates and points into the public sewer network. This can be done by submitting a pre planning enquiry directly to us. Full details and guidance can be found at

<https://www.nwl.co.uk/developers/predevelopmentenquiries.aspx> or email

DevelopmentEnquiries@nwl.co.uk. The applicant should then submit a drainage strategy reflecting our recommendations for consideration as part of the planning application.

Informatives: Environment Agency

Prior to works commencing, the applicant will be required to obtain a Flood Risk Activity Permit for works within 8m of the main river and the proposed replacement bridge. The relevant informative is provided below. Free permit pre-app advice is available to the applicant upon request from: ne_epr_permit@environment-agency.gov.uk

Environmental permit - advice to applicant The Environmental Permitting (England and Wales) Regulations 2016 require a permit or exemption to be obtained for any activities which will take place:

- on or within 8 metres of a main river (16 metres if tidal)
- on or within 8 metres of a flood defence structure or culverted main river (16 metres if tidal)
- on or within 16 metres of a sea defence
- involving quarrying or excavation within 16 metres of any main river, flood defence (including a remote defence) or culvert
- in the floodplain of a main river if the activity could affect flood flow or storage and potential impacts are not controlled by a planning permission For further guidance please visit <https://www.gov.uk/guidance/flood-risk-activities-environmental-permits> or contact our National Customer Contact Centre on 03708 506 506 (Monday to Friday, 8am to 6pm) or by emailing enquiries@environment-agency.gov.uk.

Signing up for flood warnings The applicant/occupants should phone Floodline on 0345 988 1188 to register for a flood warning, or visit Sign up for flood warnings - GOV.UK. It is a free service that provides warnings of flooding from rivers, the sea and groundwater, direct by telephone, email or text message. Anyone can sign up.

Flood warnings can give people valuable time to prepare for flooding - time that allows them to move themselves, their families and precious items to safety. Flood warnings can also save lives and enable the emergency services to prepare and help communities.

For practical advice on preparing for a flood, visit Prepare for flooding: Protect yourself from future flooding - GOV.UK.

To get help during a flood, visit What to do before or during a flood - GOV.UK. For advice on what do after a flood, visit What to do after a flood - GOV.UK.

Informative for Archaeology Conditions

Written Scheme of Investigation: This would cover all trial trenching required across the site (spa and parking area, self-builds, woodland lodges). The earthwork survey for the ridge and furrow should also be carried out at this stage, otherwise the trenching in the self-build area will damage the ridge and furrow before it is fully recorded.

Strategy for Archaeological Mitigation: This would cover the historic building recording (all buildings across site), the earthwork survey of the 'U' shaped structure if necessary, and any other mitigation works needed as a result of the findings from the trial trenching.

Fulfilling the requirements of the SAM: This would ensure that all post-investigative work is carried out and made publicly accessible, in line with NPPF paragraph 218

HEADS OF TERMS

The Applicant shall enter into a Section 106 Agreement to secure

- (A) Phasing of works and delivery of the housing
- (B) Affordable Housing off site contribution
- (C) School Contributions based on the standard formula (to be paid by each plot owner)
- (D) Custom and Self Build Housing
- (E) Nutrient Neutrality

Background

1. The hotel has been acquired by JCM Agriculture & Leisure Ltd and Kymel will be the developers and operators of the new visitor accommodation business proposed at the application site.

2. The supporting information states that Kymel is led by a group of experienced, hospitality professionals with decades of collective experience in the hotel and hospitality industry. Kymel already owns and operates a portfolio of successful, award-winning, food-led hotels and restaurants in the North East and Yorkshire. This includes:
 - The Lord Crewe Arms boutique hotel, Bamburgh;
 - The Middle Inn, Bamburgh;
 - The Park Hotel, Redcar;
 - Spanish City, Whitley Bay;
 - Trenchers restaurant, Whitby; and
 - Tide by Trenchers, Whitby.
3. Based on Kymel's knowledge and experience of the hospitality industry, they are confident that the Judges Hotel can re-establish itself as a strong commercial proposition and an asset to the local visitor economy.

Relevant Planning Background

4. Whilst there have been a number of applications for works to the Hotel there are also relevant applications for housing within the grounds of the Hall. These applications are detailed below;

Land north of no.1 Kirklevington Hall Drive, Kirklevington, Yarm TS15 9LH

(Appeal Ref: APP/H0738/W/23/3331328 Planning Ref 21/0532/OUT)

Erection of two detached houses was refused with the Inspector concluding "*the appeal site is in countryside outwith the development limits set out in the Local Plan and the proposal would not meet the identified policy exceptions. Rather the proposed development would harm the rural character and intrinsic value of the countryside, undermine the housing strategy and hinder delivery of that strategy, placing it in conflict with the development plan. The delivery of custom and self-build housing would not in itself justify residential development in this location. This outweighs the positive aspects of the proposal*".

Land at Kirklevington Hall Drive, Yarm

(Appeal Ref: APP/H0738/W/19/3233081 Ref 18/0351/FUL)

Erection of three detached dwellings refused with the Inspector concluding "*The proposals would not affect the living conditions of neighbouring occupiers and would provide a good standard of internal and external living space with sufficient car parking. It would provide three dwellings which would contribute to the housing offer within the area. I have also found that there is no conflict with highway safety policy. However, the appeal site is in the open countryside outwith the development limits set out in the Local Plan. The proposals' visual impact would harm the open parkland character, and this outweighs the positive aspects of the proposal. I therefore conclude that the proposal conflicts with the development plan when taken as a whole.*

Site and Surroundings

5. The application site is the former Judges Hotel, also known as Kirklevington Hall, is located to the east of the A67, south of Yarm and north of Kirklevington. The Hall closed in March 2023.

6. With regard to the history of the site, Kirklevington Hall was originally built as a family home by Thomas Richardson in 1884. Following the death of his son in 1940, the property was acquired by the Army as a regional headquarters during World War II and The Cold War.
7. The landscape around the former Hotel is a mixture of formal gardens and woodland walks. There are significant areas of woodland with mature trees that provide both amenity and ecological value with individual (00.8.5.528) Tree Preservation Orders on the site to protect these trees..

Proposal

8. This Hybrid Application seeks Planning permission for;

Full application for refurbishment works and extensions to the hotel and Victorian stables and development of a new covered walkway from the hotel to the Victorian stable building; event pavilion; spa; demolition of the existing staff accommodation in the walled garden to be replaced by eight self-contained lodges and potting shed offices; car parking and associated works and;

Outline planning permission for residential development comprising self-build residential plots, woodland lodges, and associated infrastructure.

9. The works will be delivered in Phases, with Phase 1 reliant on a significant proportion of funding from the sale of the housing plots.
10. Phase 1 will include the redevelopment and refurbishment of the hotel, as well as the delivery of the upgraded wedding venue and walled garden lodges. The housing which is in outline as these will be self build properties, subject to a design code and will provide the funding for the following;
 - The renovation of the existing hotel, including a new restaurant extension
 - The existing converted stables and adjacent courtyard to be reconfigured to create a self-contained event space;
 - The existing walled garden and former staff quarters to be repurposed for an event space and 8no. Walled Garden Lodges with private outdoor terraces;
 - New build potting shed offices to support the operational needs of the development;
 - Purpose-built events pavilion which accommodates weddings, corporate functions and private gatherings;
 - Enhancements to the site entrance, including the installation of new site entrance piers and associated landscaping;
 - Additional new car parking and associated landscaping
11. Phase 2 would comprise of the woodland lodges and spa.
 - The Spa is a detailed application and has a ground floor and lower ground floor which is embedded into the landscape
 - The lodges are in outline and therefore the full details are not included but an indicative plan has been provided and show positioning and layout which include hot tubs

Economic Benefits from the Hotel and associated works.

12. The Applicant has submitted an Economic Footprint Report which covers Phase 1 works and also then if the whole development as envisioned is implemented. The headline results are detailed below;

Phase 1 – (Hotel, Walled Garden and Victorian Stables)

Construction Impacts

- £14.5 million capital investment (total construction cost);
- 110 direct FTE construction jobs during the 18-month build period;
- A further 135 indirect FTE supply chain jobs support throughout the build period; and
- £21.9 million of GVA (economic output) in each year of the build period.

Operational Impacts

- 95 permanent direct FTE operational jobs created;
- A further 55 indirect and induced jobs supported across the Tees Valley; and
- Uplift in GVA (economic output) of £3.6 million of GVA per annum.

Tourism Impacts

- 15,185 additional visitor nights per annum;
- £985,000 additional visitor expenditure from overnight visitors; and
- The above spend could create demand in the wider economy for 9.2 FTE jobs across a range of sectors.

Phase 2 – (Spa and Woodland Lodges)

Construction Impacts

- £18.2 million capital investment (total construction cost);
- 140 direct FTE construction jobs during the 18-month build period;
- A further 170 indirect FTE supply chain jobs support throughout the build period; and
- £27.5 million of GVA (economic output) in each year of the build period.

Operational Impacts

- 70 permanent direct FTE operational jobs created;
- A further 40 indirect and induced jobs supported across the Tees Valley; and
- Uplift in GVA (economic output) of £2.6 million of GVA per annum.

Tourism Impacts

- 17,520 additional visitor nights per annum;
- £1.1 million additional visitor expenditure from overnight visitors; and
- The above spend could create demand in the wider economy for 10.6 FTE jobs across a range of sectors.

Consultations

13. Consultees were notified and the following comments were received.
14. **Highways Transport & Design Manager**
Highways Comments: The applicant has submitted a proposed site plan, drawing P122A-GSS-SE-XX-DR-A-(00)04 Rev P03, and a Transport Statement (TS) in support of the proposals. As set out in the TS the site would only generate an additional 57 and 56 two-way movements in the AM and PM peak periods respectively when the extant lawful use of the site as a hotel has been considered.
Once the new traffic generation has been distributed onto the highway network the development trips are quickly dissipated and as a result the proposed development will not cause a material impact on the operation of the surrounding road network.
The TS also indicates that the existing main access will be utilised for the proposals and that adequate car parking will be provided for all elements of the proposals. A construction traffic management plan, for each phase of development, should be secured by condition. Therefore, taking the above into account, there are no highways objections to the proposal.
15. **Lead Local Flood Authority**

Although the proposed SuDS basin is located within Flood Zone 2 according to the Flood Map for Planning, this type of infrastructure is categorised as water compatible development and is acceptable in this zone. The site specific FRA, using Accepted modelling, demonstrates the basin is not at risk from the 1% AEP + climate change flood level. On this basis, the LLFA considers the SuDS basin to be appropriate and at an acceptable level of flood risk.

16. Landscape Comments

An LVIA has been provided which is informative. The summary of landscape and visual effects on receptors is generally acceptable given the methodology provided. The greatest landscape change would be generated by new housing plots in the Parkland land a Major/Moderate adverse impact is identified, which is considered appropriate. The proposed development is outside of the limits to development and as such is poorly related to the existing settlement and represents an incursion into open countryside.

The extent to which the proposals would be likely to conflict with policies dealing with landscape and visual matters and the weight that should be attached to them is a matter for your judgement. I would make the following comments:

The proposed development would be unlikely to comply with Policies SD3, SD4 and SD5.

A landscape strategy has been provided. Should development be deemed acceptable the following landscape information should be provided as part of the application.

Subject to an agreed layout, full details of hard and soft landscape proposals shall be provided prior to any consent being given. Hard landscape details should include all enclosing elements, street furniture and street lighting locations. Details of external finishing materials should include finished levels, and all construction details confirming materials, colours, finishes and fixings. Soft Landscaping details should include a detailed planting plan and specification of works indicating soil depths, plant species, numbers, densities, locations inter relationship of plants, stock size and type, grass, and planting methods including construction techniques for pits in hard surfacing and root barriers. Details of rabbit protection should be provided. All existing or proposed utility services that may influence proposed tree planting shall be indicated on the planting plan.

Details of proposed soft landscape management should be provided. The soft landscape management plan shall include long term design objectives, management responsibilities and maintenance schedules for all landscape areas/ retained vegetation, other than small privately owned domestic garden. Landscape maintenance shall be detailed for the initial 5-year establishment from date of completion of the total scheme regardless of any phased development period followed by a long-term management plan for a period of 20 years.

17. Principal Tree and Woodland Officer (in relation to footpath)

I am providing some comments following our recent site meeting to review the area of trees adjacent to the A 67 between Yarm and Kirklevington at the frontage of Kirklevington Hall, formerly Judges Hotel. The purpose of our meeting was to appraise and assess initial compatibilities of this site towards the installation of a cycle path. Part of the consideration of this proposal was to assess feasibility of this installation within the woodland edge and any impacts it might create. Therefore this allowed us to also review the value, quality and amenity of the trees and the woodland in closer detail.

Currently the trees provide a screen, potential sound and emissions barrier between the main road and the site, which is currently being proposed for development. The woodland is composed of mainly native tree species such as Ash, Beech, Oak and Horse Chestnut amongst other species. It is a natural green corridor between Yarm

and Kirklevington and mirrors a similar group of trees on the immediate opposite side of the road within the Kirklevington Prison site.

The general health and condition of the woodland was seen to be good and the trees were generally in a good condition although it was noted, as is typical with natural woodland, some trees suffering with disease such as Dutch Elm disease and some small incidents of Ash dieback, although this was not majorly significant. As there has not been a great deal of intervention within the tree group over the years, differing species have naturally regenerated towards a natural succession of trees so that a young to mature age class is developing (the younger trees are important to the evolving woodland landscape). The lack of intervention is also positive in increasing environmental and wildlife populations within the woods, where bats, owls and other species will be inhabiting the area.

We noted the width of the woodland area varies between the road to the inner fence, where open field is beyond the inner fenced area. The width varies from being fairly generous in areas to particularly narrow in other areas (of only a few metres). We also noted that the woodland is blocked on one side by residential garden with similar aged trees to the woodland area.

The initial requirement was for an allowance of three metres for the pathway but with construction and edging, possible lighting ducts etc, the clearances required in reality would be up to a 7 or 8 metre requirement. So this would create a minimum clearance of up to 8 metres required along the woodland edge. Whilst at the southern part of the woodland edge there was some small gaps (and differing ground levels) there was soon found to be a number of mature specimen trees (in total around 26) that are consistently lining the length of the area in question, within the first five to six metres of woodland edge, towards the Yarm / Kirklevington roundabout. This is quite a concentrated line of mature trees within a relatively small area. To facilitate the scheme this would equate to a loss of the main woodland edge composed of at least 26 mature tree species, and further successional trees. As the compartment narrows significantly, in some places following tree removals, there would be little to no trees remaining in some areas.

Whilst the physical removal of trees to implement this work would have a big amenity impact, further adjacent mature trees would also be affected due to impacts on their rootplates and therefore even further mature tree losses would be required creating a much thinner line of trees and loss of large areas of the existing woodland. As the trees have developed as a group over many decades, the loss of the outer trees would expose the trees within the woodland to new wind stresses and this in turn is likely to create fragility of the remaining woodland leading to tree and branch failures in high winds, this would create a potentially unsafe landscape in proximity to the new cycle route.

Some of the trees on the woodland edge are at a maturity where they are likely to be over 150 to 200 years old and as such they have become important amenity assets to the area. This was assessed prior to our meeting when a TPO had been placed on the trees in view of the recent planning application for Kirklevington Hall, to recognise the importance of the woodland area and monitor and further regulate the trees if required in the future.

The appearance and quality of the trees in this woodland compartment create the unique aspect and amenity of the wider landscape, which changes from the urbanised area of Yarm suburbs, immediately to a more tranquil and rural aspect on the approach to Kirklevington, the trees being intrinsic to this location.

Therefore it was considered that the implementation of this scheme would have a significant and detrimental impact on this current aspect, both visually and environmentally and the attractive appeal of the area.

Therefore in terms of the feasibility of the scheme it was considered it may significantly affect the current and historic landscape character with significant wider impacts to the woodland as a whole, therefore other options with less impact should be explored

18. **Northumbrian Water Building Control**

In making our response to the local planning authority Northumbrian Water assesses the impact of the proposed development on our assets and assesses the capacity within our network to accommodate and treat the anticipated flows arising from the development. We do not offer comment on aspects of planning applications that are outside of our area of control. It should also be noted that, following the transfer of private drains and sewers in 2011, there may be assets that are the responsibility of Northumbrian Water that are not yet included on our records. Care should therefore be taken prior and during any construction work with consideration to the presence of sewers on site. Should you require further information, please visit <https://www.nwl.co.uk/developers.aspx>. At this time the planning application does not provide sufficient detail with regards to the management of foul and surface water from the development for Northumbrian Water to be able to assess our capacity to treat the flows from the development. The latest drainage documents submitted show a foul connection from the self-build plots to existing public combined sewer via a pumping station and a connection to the private package treatment works. The applicant should confirm if they intend to use the private package treatment plant or connect into the public sewer.

Please note that the planning permission with the condition is not considered implementable until the condition has been discharged. Only then can an application be made for a new sewer connection under Section 106 of the Water Industry Act 1991.

Further information is available at <https://www.nwl.co.uk/services/developers/>
For information only: We can inform you that a sewerage rising main and water main cross the site and may be affected by the proposed development. Northumbrian Water does not permit a building over or close to our apparatus. We will work with the developer to establish the exact location of our assets and ensure any necessary diversion, relocation or protection measures required prior to the commencement of the development. This is an informative only and does not materially affect the consideration of the planning application.

19. **SBC Environmental Health**

Following my previous comments dated 09/12/2025 based upon noise report revision C, I have since received a response to those comments by Apex acoustics dated 15/01/2026 and following that I have also received noise report revision D. In relation to noise from the marquee, as previous noise reports have demonstrated that noise from the marquee is likely to have a significant impact upon nearby sensitive receptors it is necessary to restrict the use of any marquee to not have music until it is demonstrated via an appropriate noise impact assessment that the level of noise from within the marquee will be suitable. Therefore the condition below is necessary.

- No music will be played within the hereby approved marquee within the walled garden, unless details of non-amplified and amplified music, amplification equipment and sound suppression measures (as appropriate) are first submitted to and approved in writing by the local planning authority. The submission of these details shall be via a noise impact assessment whereby the L_FMax sound from amplified and non-amplified music and speech shall not exceed the typical minimum L₉₀(5min), 1meter from the façade of any sensitive receptor in all third octave bands between 31.5Hz and 8kHz. Any details submitted pursuant to this condition will seek approval of appropriate management regimes, including hours of operation. Should mitigation measures be required these

shall be installed upon agreement with the Local Planning Authority and then retained for the lifetime of the proposal.

In relation to the noise levels to be set for new external plant, revision D states that background noise levels using an LA90 were obtained as detailed in table 4 below, at P2 the representative values are 39dB for daytime and 30dB at night time as an LA90 value.

Measurement location	Assessment period	L _{A90} (dB)
P1	Daytime (07:00 – 23:00 hrs)	34
	Night-time (23:00 – 07:00 hrs)	28
P2	Daytime (07:00 – 23:00 hrs)	39
	Night-time (23:00 – 07:00 hrs)	30
P3	Daytime (07:00 – 23:00 hrs)	40
	Night-time (23:00 – 07:00 hrs)	28

Table 4: Background sound levels representative of the assessment periods

However section 8.7 of the report (below) states that background levels (using Laeq) were between 28dB and 30dB Laeq 15min. An Laeq is a higher value than a background LA90 value and it is unclear how an Laeq value has measured below an LA90 value.

8.7 * - NOTE: The representative background sound levels for all positions during the night-time period vary between 28 dB and 30 dB Laeq 15-min, which are considered low. As per BS 4142

Environmental Health are still of the opinion that using a rating level of 35dB Laeq overnight is likely to cause an adverse/ significant adverse impact when the background LA90 value is 30dB. Despite this, Environmental Health are of the opinion that with mitigation measures in place such as acoustic enclosures/ screening etc the requirement which has been set can be achieved whereby the background noise level at night is not exceeded. Whilst I have no objection to the principle of the proposal, I do object to the existing proposed rating level values to be achieved and feel that the only way to overcome this objection would be via a further noise impact assessment once plant details are known which do not exceed background noise levels at night, with mitigation measures applied.

- **BS4142 Assessment** :Once full details of plant noise is known a full noise impact assessment of the plant (individually and cumulatively, including noise from hot tubs and mechanical plant) should be undertaken and approved in writing prior to becoming operational whereby the rating level of the plant shall not exceed the background noise levels noted in table 4 overnight (23:00hrs- 07:00hrs) or those in table 4, +5dB for the day time (07:00- 23:00hrs). These levels should be achieved at the façade of existing residential properties and proposed residential properties as part of this development whereby all measurements and assessments shall be made in accordance with the methodology of BS4142: 2014 (Methods for rating and assessing industrial and commercial sound) and/or its subsequent amendments. Details of mitigation measures shall be submitted and once approved shall be retained for the lifetime of the proposal.

Outline Residential Design

The report demonstrates the outline proposal for residential properties is sufficient in acoustic terms as both external noise levels and internal noise levels can be achieved. It is important to note that external levels are achieved with an acoustic fence and internal noise levels are achieved with windows closed and trickle ventilation. As this application for housing is outline, a full noise impact assessment should be undertaken and submitted once final design and layout is known whereby external and internal

noise levels should again be assessed in accordance with the internal and external criteria assessed within the submitted report.

As ventilation and overheating may need further consideration once the final design is known it is recommended that the following is complied with:

- Acoustic, Ventilation, Overheating Design
If BS8233 internal noise levels cannot be achieved with openable windows then the developer needs to consider implementing good acoustic design as required within ProPG, <https://www.ioa.org.uk/publications/propg> such as the following:
 - Increase distance away from the noise source
 - Layout/ orientation of properties and amenity areas
 - Internal layout of properties so liveable rooms and main bedrooms are situated furthest away from the noise source.
 - Acoustic Fencing/ mounding

Where the above have been considered and there is still a requirement for windows to be closed to achieve BS8233 internal noise levels an Acoustic, Ventilation and Overheating assessment should be undertaken. The assessments and any required acoustic mitigation measures should be interlinked. An internal assessment should also be made of any noise emitted from mechanical ventilation plant (if required) which when in use should not exceed internal noise levels specified within BS8233, or the following:

- Living Rooms (Day and Night-time) – NR30
- Bedroom (Daytime)- NR30
- Bedrooms (Night-time)- NR25

Short Term Holiday Accommodation

Given the sensitive nature of the site and potential implications, it should be conditioned that these are use for holiday let only and not long term occupancy.

A noise management plan shall be submitted and approved in writing in relation to noise associated with the short term holiday accommodation and noise from guests.

Air Quality: I have reviewed the submitted air quality assessment, and should the development be approved then the report and its mitigation measures should be conditioned to prevent construction dust impacting upon sensitive receptors along with a condition to restrict construction/demolition Noise.

20. **SBC Environmental Health: Contaminated Land**

I have checked the Phase 1 Desk Top Study submitted by Sirius (Oct 2024, Ref C10202) and this has identified any significant historical contaminative sources, though there is the potential for asbestos containing materials to be present. A phase II site investigation is proposed to confirm these findings to include heavy metals, PAH's and inorganics as well as asbestos. I would recommend further site investigation is undertaken and a condition is recommended.

21. **The Environment Agency**

We request that the local planning authority lists the Flood Risk Assessment (reference: Kirklevington Hall, titled Flood Risk Assessment and Drainage Strategy, dated November 2025, prepared by Queensberry Design) and the Drawing Reference: QD2277-00-07, titled Woodland Lodges Outline Stage Flood Risk and Access Strategy, dated Dec 2025, prepared Queensberry Design as approved plans and documents, to which the development must adhere

Prior to works commencing, the applicant will be required to obtain a Flood Risk Activity Permit for works within 8m of the main river and the proposed replacement bridge. The relevant informative is provided below. Free permit pre-app advice is

available to the applicant upon request from: ne_epr_permit@environment-agency.gov.uk

We are able to remove the previous objection for non mains drainage proposed in a sewered area following the submission of further information. We note, Drawing reference QD2277-00-06, titled Foul Drainage Assessment of Public Sewer Connection, dated December 2025, shows connection to the public sewer via a new pumping station. The applicant is to liaise with Northumbrian Water Ltd and agree with the local planning authority on the design and construction of the new drainage scheme.

We also have the following comments to make.

Environmental permit - advice to applicant The Environmental Permitting (England and Wales) Regulations 2016 require a permit or exemption to be obtained for any activities which will take place:

- on or within 8 metres of a main river (16 metres if tidal)
- on or within 8 metres of a flood defence structure or culverted main river (16 metres if tidal)
- on or within 16 metres of a sea defence
- involving quarrying or excavation within 16 metres of any main river, flood defence (including a remote defence) or culvert
- in the floodplain of a main river if the activity could affect flood flow or storage and potential impacts are not controlled by a planning permission For further guidance please visit <https://www.gov.uk/guidance/flood-risk-activities-environmental-permits> or contact our National Customer Contact Centre on 03708 506 506 (Monday to Friday, 8am to 6pm) or by emailing enquiries@environment-agency.gov.uk.

The applicant should not assume that a permit will automatically be forthcoming once planning permission has been granted, and we advise them to consult with us at the earliest opportunity. Flood warning and emergency response - advice to LPA We do not normally comment on or approve the adequacy of flood emergency response procedures accompanying development proposals, as we do not carry out these roles during a flood. Our involvement with this development during an emergency will be limited to delivering flood warnings to occupants/users covered by our flood warning network.

Planning practice guidance (PPG) states that, in determining whether a development is safe, the ability of residents and users to safely access and exit a building during a design flood and to evacuate before an extreme flood needs to be considered. One of the key considerations to ensure that any new development is safe is whether adequate flood warnings would be available to people using the development.

In all circumstances where warning and emergency response is fundamental to managing flood risk, we advise local planning authorities to formally consider the emergency planning and rescue implications of new development in making their decisions. As such, we recommend you refer to 'Flood risk emergency plans for new development' and undertake appropriate consultation with your emergency planners and the emergency services to determine whether the proposals are safe in accordance with paragraph 173 of the NPPF and the guiding principles of the PPG. Signing up for flood warnings The applicant/occupants should phone Floodline on 0345 988 1188 to register for a flood warning, or visit Sign up for flood warnings - GOV.UK. It is a free service that provides warnings of flooding from rivers, the sea and groundwater, direct by telephone, email or text message. Anyone can sign up. Flood warnings can give people valuable time to prepare for flooding - time that allows them to move themselves, their families and precious items to safety. Flood warnings

can also save lives and enable the emergency services to prepare and help communities.

For practical advice on preparing for a flood, visit Prepare for flooding: Protect yourself from future flooding - GOV.UK.

To get help during a flood, visit What to do before or during a flood - GOV.UK. For advice on what do after a flood, visit What to do after a flood - GOV.UK.

22. **Tees Valley Combined Authority**

On behalf of the Tees Valley Local Visitor Economy Partnership (LVEP), I am writing to express my support for the hybrid planning application for the redevelopment of the former Judges Hotel (Kirklevington Hall).

The LVEP has a clear mandate to grow the visitor economy across Tees Valley, aligning investment and development with our Destination Management Plan and strategic growth priorities. A consistent challenge we face is the limited provision of high-end accommodation in the region. This scheme (delivering a 5* boutique hotel with spa, event pavilion, woodland lodges and high-quality ancillary facilities) directly addresses this gap, offering a unique product that will enhance Tees Valley's ability to compete in both leisure and business tourism markets. By providing a facility of this standard, the development will also place Stockton-on-Tees prominently on the map as a destination for high-quality tourism.

The redevelopment will deliver substantial economic benefits. Once operational, independent assessments show it will support over 300 jobs, generate more than £8m GVA annually, and create around 32,000 overnight stays each year. The uplift in visitor expenditure, estimated at £2.1 million per year, will support local businesses, including those in food and drink, retail, cultural attractions, and transport.

This project also supports our ambitions around business tourism. The addition of new event and meeting facilities, alongside high-quality accommodation, will provide much-needed infrastructure to host smaller corporate gatherings and private events. While not designed for large conferences, the development will fill an important gap in the market and provide accommodation for investors and visiting partners to the region, supporting inward investment and strengthening Tees Valley's profile as a place to do business.

The redevelopment also responds to modern visitor trends, including growing demand for domestic short-stay trips and multi-generational breaks. The boutique hotel, spa, and lodges are designed to cater to these preferences, offering a flexible and attractive option for a diverse range of visitors.

Beyond its economic impact, the redevelopment will restore a valued local landmark, returning an important community asset to beneficial use and ensuring the long-term viability of a site which has been vacant since 2023.

For these reasons, I consider the Judges Hotel redevelopment to be a strategically significant project for the Tees Valley visitor economy.

23. **Historic Building Officer**

Kirklevington Hall is noted for its open parkland setting and is a non designated Heritage Asset.

Although minor harm has occurred in the 20th century through insensitive development, this has not entirely eroded the character. The front elevation still faces mostly onto open grassland, and this positively enhances the setting. The HIA also states that the '*...woodland and open parkland studded with tree clumps ...were carefully designed in the 1880s to provide a picturesque settings that could be enjoyed from the Hall and when travelling through the estate*'. Removal of this open parkland setting through the development of housing plots would negatively erode this component of the Hall's design. The submitted HIA later states that '*...open views*

across the parkland will be largely maintained'. I would dispute the finding that the open views would be largely maintained, as views to the front of Kirklevington Hall will be interrupted by the new self-build plots which will significantly and negatively erode the open parkland setting. Although trees will hide some of development, this will only be when mature and in full leaf. The setting and approach to the building was a carefully designed set piece that was meant to impress visitors before they had entered the house, and the change in setting and approach through the development of a housing estate would negatively impact on the significance of the Hall as a whole. It is acknowledged that the newer drive route does affect how the property is viewed on approach, however the significance of the front views and open setting is not negatively impacted by the newer approach road.

The HIA states that the elevations facing the garden and woodland were prioritised, whilst the front elevation 'lacks symmetry and features windows that are more modest and arranged irregularly'. Although the noted elevation differences are important, the lack of symmetry on the front elevation does not indicate a lesser architectural design importance. The purposeful asymmetry and mix of designs fit well within the 19th century tradition of purposefully building houses in such ways as to appear to have developed organically from an earlier core, implying a longer built heritage (and thus higher status) on the owner. As such, despite the different treatment of elevations, it is not evidence of lesser hierarchical importance, and views to and from this elevation were still carefully designed to present a clear message about the wealth and status of the owner; consequently, it positively adds to the building's historical and architectural significance.

The works to the main hall are generally considered acceptable, and do not negatively affect the more significant elements of the building. The holiday lodges to the west of the site are considered well shielded by the planting, and subject to any necessary controls to the surrounding trees, could be considered acceptable.

24. **Tees Archaeology (summarised)**

Evaluation trenching would let us determine the need for further mitigation works, targeting areas where more work is needed and negating additional work where no archaeological remains are uncovered. Given that the proposed self-build area is over 4ha; I do not feel that a strip map and record is appropriate as an evaluation strategy and trial trenching should be carried out in the first instance, with any strip map and record undertaken as part of a mitigation strategy if necessary. Whilst I appreciate that the building work is going to be conducted in phases, this is not reflected in the application – most of the works are included within the full application, with only the woodland lodges and self-builds covered by the outline. As a compromise, I suggest conditions, with comments as to that works would be expected to be covered by each condition. It is my professional recommendation that the evaluation works are carried out pre-determination, so this represents a compromise between our two positions. The developer should be made aware that there is some element of risk to this approach. Amendment to the proposed development scheme may be required to protect the archaeology if significant archaeological remains are uncovered during trial trenching.

We agree with the proposed 4% trial trenching of the site alongside the level 2 earthwork survey. Recent trenching at a site further up the road (c.2.5km to the north-east) uncovered a number of archaeological remains that were not identified in the geophysical survey; these features had been masked by a subsoil horizon. It may be the case that archaeological features at this site are also not present on the geophysical survey; a pre-determination evaluation would be the most appropriate way of establishing the presence/absence of archaeological remains across the site. It will

also allow us to characterise any remains and assess their level of preservation and significance (in line with NPPF para 207).

As the proposed housing is for self-build plots, it would be more prudent to carry out archaeological mitigation as a condition on the outline application. This ensures that any archaeological remains are dealt with appropriately and not in a piecemeal manner on individual plots via separate reserved matters applications.

The submitted documentation makes it unclear whether the anti-aircraft operations bunker is proposed to remain on site; some plans show it being demolished while others show it being retained. Clarity on this is required, as is an assessment of the building's condition. It is presently our recommendation that this is not demolished, as it forms an important part of the site's history and it is considered a non-designated heritage asset to the Borough. NPPF paragraph 202 states that heritage assets, including those of local interest, are 'an irreplaceable resource, and should be conserved in a manner appropriate to their significance, so that they can be enjoyed for their contribution to the quality of life of existing and future generations', and paragraph 216 notes that 'The effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application'. Therefore, consideration should be given to the repair, retention and reuse of this important local heritage asset which could be reused in imaginative ways to the benefit of the new development (NPPF para 203). Adequate justification would be required for the total loss of this non-designated heritage asset.

There are a number of proposals that will physically affect Hall itself as well as its outbuildings, and it is recommended that building recording is undertaken across site prior to any works being carried out; however, we are willing to condition this work upon the development.

25. **Natural England**

Final Comments to follow. Broadly in agreement with the Appropriate Assessment but needs additional information to be added.

26. **Housing Services Manager**

As the development is self-build an offsite contribution is required.

27. **Place Development Manager**

Comments made within this response relate to the design of the proposal to promote positive outcomes but do not cover the acceptability of the principle of development. Place Development are happy to discuss the nature/detail of these comments. Kirklevington Hall was developed in the 1880's alongside associated stables and whilst not a designated heritage asset the buildings and surrounds can be considered heritage assets owing to their local significance. Alongside internal alterations to Kirklevington Hall a modern extension is proposed in place of an existing conservatory. The proposed extension is four times the footprint of the existing conservatory and in addition a 101m² terrace is also proposed complete with glass balustrade. It is noted that a material and architectural styles which have been adopted for the extension have been done so to complement the existing hall whilst distinguishing the extension from the halls historic character. Careful consideration is required in relation to the impact on the significance of the heritage asset through the proposals presented. To the southeast of the hall on the lower garden is a proposed pavilion which utilises a similar palette of materials to the proposed extension to the hall.

Proposed changes to the stables are evident on all elevations alongside internal alterations. Changes include an external terrace to the southern elevation (with larger windows/doors), dormer extensions (southern and eastern elevations) to create office accommodation, and a large window to the western elevation (replacing two existing windows). The alterations to this building are substantial in nature and careful consideration is required in relation to impacts upon the heritage asset.

The Spa building whilst being a two-story development makes use of its landscape setting being rooted in a manner which ensures that from many vantage points it is viewed as a single story which softens the visual impact of this contemporary design. The Spa is separated from the historic hall by woodland which helps further soften any visual impact.

The proposed potting shed offices replace the existing potting shed and whilst a larger footprint than the original building it is modest in scale and utilises appropriate materials which are in keeping with the context. Within the walled garden self-contained lodges are proposed which replace existing staff accommodation. These lodges are of a much larger footprint with rooflines extending over the terraced area to the front of the lodges. Drawing reference P122A-GSS-WG-ZZ-DR-A-(00)10 provides site sections of the walled garden proposals indicating that the roofline of the lodges extends beyond the more modest potting shed and the walls of the walled garden. Opportunities could be considered for reducing the impact of the modern rooflines.

The remaining elements of the application (namely woodland lodges and self-build residential properties) are outline in nature. With reference to the woodland lodges, it is understood that these are to be holiday rental rather than residential properties and whilst placement has been indicated based upon existing woodland clearings their final locations will be determined subject to further review of information including a services strategy. The self-build properties are set within substantial plots and can be described as forming an executive housing style of development being guided by a design code to ensure a high quality, consistent development is achieved through subsequent reserved matters applications. Included within this code are requirements for:

- development not encroaching within minimum distances to the rear and side of plots (10m and 3m respectively)
- building footprint not exceeding 25% of a plot
- specified boundary treatments
- scale, mass and form requirements (including being no higher than 2.5 storeys with a maximum height to eaves of 6.3 metres and ridge of 10 metres)
- further design principles (including building characteristics, materials, architectural details) - whilst not being overly prescriptive these elements provide satisfactory detail to inform what represents a local vernacular style and what will be considered unacceptable. In essence providing for variety/choice whilst maintaining an overall consistent character to the development.

The design code should be conditioned to ensure subsequent applications for individual plots are required to conform with the design code at reserved matters stage. We would question the decision not to establish a required (minimum/maximum) off-set for dwellings from the plot frontage within the design code, this would be useful in helping establish a uniform building line within the proposal; as currently drafted this could lead to very differing approaches within plots to the detriment of the street scene.

It is a positive feature within the design code that uniform boundary treatments are proposed in the form of 5 bar metal estate fencing. Whilst it is acknowledged the design code requires plot owners to provide "soft and hard landscaping plan and planting schedule for approval" and are "encouraged to introduce perimeter hedges during the construction phase", it would be beneficial that a stronger statement be placed within the design code that established hedging offering privacy and security be a requirement of all plots.

The NPPF requires that new streets are tree-lined and that opportunities are taken to incorporate trees elsewhere in developments. Whilst it is acknowledged that the outline proposals indicate trees within front gardens this will be very much as consideration for the plot owner and could not be controlled (including tree removal at a later date). Indeed, trees within front gardens would not constitute a tree-lined street as detail within the NPPF. Owing to the executive nature of the development and requirements of the NPPF the applicant is encouraged to incorporate trees within the street. It is acknowledged that a wayleave is present on the western side of the main estate road but there remain opportunities to deliver trees within the street scene.

28. **Northern Gas Networks**

Northern Gas Networks has no objections to these proposals, however there may be apparatus in the area that may be at risk during construction works and should the planning application be approved, then we require the promoter of these works to contact us directly to discuss our requirements in detail. Should diversionary works be required these will be fully chargeable.

29. **Northern Power Grid**

At present, the electricity network in this area has limited capacity to support additional homes without upgrades. However, all applications will be reviewed as we work closely with you to deliver the necessary infrastructure.'

30. **Northern Powergrid(u/g Cables, O/h Lines, Small Substations)**

Thank you for your recent enquiry regarding the above location. The enclosed Mains Records only give the approximate location of known Northern Powergrid apparatus in the area. Great care is therefore needed, and all cables and overhead lines must be assumed to be live. Please note that while all efforts are made to ensure the accuracy of the data provided, no guarantee can be given. We would refer you to the Health Safety Executive's publication HS(G) 47 "Avoiding Danger From Underground Services" which emphasises that The position of any services in or near the proposed work area should be pinpointed as accurately as possible using a detecting device in conjunction with up-to-date service plans and other information which provides a guide to the possible location of services and help interpret the signal.

Excavation work should follow safe digging practices. Once a detecting device has been used to determine position and route, excavation may proceed, with trial holes dug as necessary, to confirm the position of any detected services. A cable is positively located only when it has been safely exposed. Cable depths are not generally indicated on our records and can vary considerably even when shown. Great caution must be exercised at all times when using mechanical plant. Careful trial digging should always be carried out on the whole route of the planned excavation to ascertain no cables exist. The Health Safety Executive publication GS6 "Avoidance of Danger from Overhead Electric Lines" must be consulted if your work is near overhead power lines. Both of these documents provide comprehensive guidance for observance of statutory duties under the Electricity at Work Regulations 1989 and the Health Safety at Work Act 1974. Our provision of these records is based upon the

assumption that people using them will have sufficient competence to interpret the information provided. Any damage or injury caused will be the responsibility of the organisation or individual concerned who will be charged for any repairs. Please note ground cover must not be altered either above or below our cables or below overhead lines. In addition, no trees should be planted within 3 metres of existing underground cables or 10 metres of overhead lines. All our apparatus is legally covered by a wayleave agreement, lease or deed or alternatively provided under the Electricity Act 1989. Should any alteration / diversion of Northern Powergrid's apparatus be necessary to allow your work to be carried out, budget costs can be provided by writing to Network Connections, Alix House, Falcon Court, Stockton On Tees, TS18 3TU. Tel: 0800 0113433.

31. **National Grid**

There are no National Grid Electricity Transmission assets affected by the proposal.

32. **National Gas Transmission**

Regarding planning application 25/1001/FUL, there are no National Gas Transmission assets in this area.

33. **National Highways**

No objection

34. **Network Rail**

Network rail own, operate and develop Britain's railway infrastructure. Our role is to deliver a safe and reliable railway. All consultations are assessed with the safety of the operational railway in mind and responded to on this basis. Following assessment of the details provided to support the above application, Network Rail has no objection in principle to the development, but below are some requirements which must be met. It is recognised that only the outline element of the scheme falls within the vicinity of the operational railway. Therefore, much of the detailed information provided is more pertinent to this specific element.

Drainage: It is imperative that drainage associated with the site does not impact on or cause damage to adjacent railway assets. Surface water must flow away from the railway, there must be no ponding of water adjacent to the boundary and any attenuation scheme within 30m of the railway boundary must be approved by Network Rail in advance. There must be no connection to existing railway drainage assets without prior agreement with Network Rail. Please note, further detail on Network Rail requirements relating to drainage and works in proximity to the railway infrastructure is attached for your reference.

Condition: We expect a condition regarding the disposal of surface water to be included as part of any consent.

Boundary Treatments, Landscaping and Lighting

Trespass Proof Fencing: Trespass onto the railway is a criminal offence. It can result in costly delays to rail traffic, damage to the railway infrastructure and in the worst instances, injury and loss of life. Due to the nature of the proposed development we consider that there will be an increased risk of trespass onto the railway.

Condition: The developer must provide a suitable trespass proof fence adjacent to Network Rail's boundary (approx. 1.8m high) and make provision for its future renewal and maintenance. Network Rail's existing fencing/wall must not be removed or damaged.

Additional Requirements: Railway Noise Mitigation: The Developer should be aware that any development for residential or noise sensitive use adjacent to an operational railway may result in neighbour issues arising. Consequently, every endeavour should

be made by the developer to provide adequate soundproofing for each dwelling. Please note that in a worst-case scenario there could be trains running 24 hours a day and the soundproofing should take this into account.

Conclusion :Thank you again for the opportunity to comment on the proposed scheme. We trust that the above will be given due consideration in determining the application and if you have any enquiries in relation to the above, please contact us at townplanningline@networkrail.co.uk.

35. **Sport England**

The proposed development does not fall within either our statutory remit (Statutory Instrument 2015/595), or non-statutory remit (National Planning Policy Guidance (PPG) Par. 003 Ref. ID: 37-003-20140306) and, therefore, Sport England has not provided a detailed response in this case, but would wish to give the following advice to aid the assessment of this application. General guidance and advice can however be found on our website:

https://www.sportengland.org/how-we-can-help/facilities-and-planning/planning-for-sport#planning_applications

If the proposal involves the loss of any sports facility, then full consideration should be given to whether the proposal meets Par. 104 of National Planning Policy Framework (NPPF) is in accordance with local policies to protect social infrastructure and meets any approved Playing Pitch Strategy or Built Sports Facility Strategy that the local authority has in place.

If the proposal involves the provision of a new sports facility, then consideration should be given to the recommendations and priorities set out in any approved Playing Pitch Strategy or Built Sports Facility Strategy that the local authority may have in place. In addition, to ensure they are fit for purpose, such facilities should be designed in accordance with Sport England, or the relevant National Governing Body, design guidance notes:

<http://sportengland.org/facilities-planning/tools-guidance/design-and-cost-guidance/>

If the proposal involves the provision of additional housing, then it will generate additional demand for sport. If existing sports facilities do not have the capacity to absorb the additional demand, then new and/or improved sports facilities should be secured and delivered in accordance with any approved local policy for social infrastructure, and priorities set out in any Playing Pitch Strategy or Built Sports Facility Strategy that the local authority has in place.

In line with the Government's NPPF (including Section 8) and PPG (Health and wellbeing section), consideration should also be given to how any new development, especially for new housing, will provide opportunities for people to lead healthy lifestyles and create healthy communities. Sport England's Active Design guidance can be used to help with this when developing or assessing a proposal. Active Design provides ten principles to help ensure the design and layout of development encourages and promotes participation in sport and physical activity.

NPPF Section 8: <https://www.gov.uk/guidance/national-planning-policy-framework/8-promoting-healthy-communities>

PPG Health and wellbeing section: <https://www.gov.uk/guidance/health-and-wellbeing>

Sport England's Active Design Guidance: <https://www.sportengland.org/how-we-can-help/facilities-and-planning/design-and-cost-guidance/active-design>

Please note: this response relates to Sport England's planning function only. It is not associated with our funding role or any grant application/award that may relate to the site.

36. **Cleveland Police**

With regards to your recent hybrid planning application 25/1001/FUL for residential and commercial developments at Kirklevington Hall site.

Cleveland Police encourages applicants to build/refurbish developments incorporating the guidelines of Crime Prevention Through Environmental Design (CPTED).

I would like to make you aware that Cleveland Police operate the "Secured by Design" initiative. This is a scheme which promotes the inclusion of architectural crime prevention measures into new projects and refurbishments.

I recommend applicant actively seek Secured by Design accreditation; full information is available within the SBD Residential and Non-Residential Guides 2025 Guide at www.securedbydesign.com

I encourage contact from applicant/agent at earliest opportunity, if SBD Certification is not achievable you may incorporate some of the measures to reduce the opportunities for crime and anti-social behaviour.

Once a development has been completed the main opportunity to design out crime has gone. The local Designing Out Crime Officer should be contacted at the earliest opportunity, prior to submission and preferably at the design stage.

The Secured by Design Residential Guide highlights that the concepts and approach adopted within this guide can be used to influence strategic planning policies, in support of Paragraph 102a of the NPPF.

- The National Planning Policy Framework 2024 paragraph 96(b), which states that Planning policies and decisions should aim to achieve healthy, inclusive, and safe places which are safe and accessible, so that crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion...
 - The National Planning Policy Framework 2024, paragraph 135(f) which states that "Planning policies and decisions should ensure that developments create places that are safe, inclusive and accessible... and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience".
 - Stockton-on-Tees Borough Council Local Plan, Policy SD8 includes the following... All proposals will be designed with public safety and the desire to reduce crime in mind, incorporating, where appropriate, advice from the Health and Safety Executive, Secured by Design, or any other appropriate design standards.
 - Supplementary Planning Guide, Local Design Guide Section 3.6 and Sustainable Design Guide Section 4.9 also refer to Security & Safety.
- Another material consideration is Section 17 of The Crime and Disorder Act 1998. Further information on the Secured By design initiative can be found on www.securedbydesign.com Although not an SBD requirement, Stockton along with many other areas nationwide suffers from offences of metal theft. These include copper piping, boilers, cables, and lead flashing. Buildings under construction are particularly vulnerable. I recommend that alternative products be utilized where possible. Many new builds are now using plastic piping where building regulations allow and alternative lead products.

Strong consideration should also be given in relation to the provision of On- Site Security throughout the lifespan of the development. There is information contained within the Construction Site Security Guide 2021 also on the SBD website that may assist. Should permission be granted I welcome early contact from agent/applicant for any input regarding the above and anything I can offer, advise on, regarding designing out opportunities for crime and disorder to occur throughout all aspects of the proposal.

37. **Chief Fire Officer (Cleveland Fire Brigade)**

Cleveland Fire Brigade offers the following representations regarding the development as proposed.

Access requirements for the proposed spa building would require that 15% of the perimeter of the building is provided adjacent to fire appliance access, this 15% length would require a door for access to the premises. ADB V2 Para 15.1.

Access to the Victorian Stables, Walled Garden Lodges, Hotel, and Spa buildings would need to meet the requirements of the respective guide below (dependent on the use of each premises).

It must be noted that in accordance with Note 1 of each referenced table there are variations to the vehicle weights and dimensions in use at Cleveland Fire Brigade - these variations are detailed below.

*Approved Document B, Volume 1:2019, Section B5 for Dwellings.

*Approved Document B Volume 2 :2019, Section B5 for buildings other than Dwellings

It should be noted that Cleveland Fire Brigade now utilise a Magirus Multistar Combined Aerial Rescue Pump (CARP) which has a vehicle weight of 18 tonnes. This is greater than the specified weight in *AD B Vol 1 Section B5 Table 13.1. *AD B Vol 2 Section B5 Table 15.2.

Cleveland Fire Brigade also utilise Emergency Fire Appliances measuring 3.5m from wing mirror to wing mirror. This is greater than the minimum width of gateways specified in *AD B Vol 1 Section B5 Table 13.1. *AD B Vol 2 Section B5 Table 15.2.

Where any new premises are built with a compartment size greater than 280m². They must be built within 100m of an existing fire hydrant, if they do not achieve this and private hydrants installed, they must be within 90m of entry point of each premises and distributed no more than 90m apart around the site in accordance with ADB V2 16.8 - 16.11. Conversely an alternative supply of water could provide in accordance with - ADB V2 16.12 -16.13

Cleveland Fire Brigade is fully committed to the installation of Automatic Fire Suppression Systems (AFSS) in all premises where their inclusion will support fire safety, we therefore recommend that as part of the submission the client consider the installation of sprinklers or a suitable alternative AFS system.

Further comments may be made through the building regulation consultation process as required.

38. Durham County Badger Group

We comment on the ecological report where on page 5 it mentions badger latrines and it was considered of no more than district significance. If you remember there were quite a few badger signs on the boundary when South Green Lane was being developed with an old outlier in a copse, (which is now in a housing estate), and we noted that that particular ecological report had sadly been removed from the portal by 2021. Given the amount of development in the district, and now new development in an area that provides shelter habitat should be of a scale not to further deplete the district flora/fauna, to limit use to quiet activities, limiting evening disturbance and managing the increase in dog walking etc.

39. Teesmouth Bird Club

Teesmouth Bird Club (<https://www.teesmouthbc.com/>) wishes to object to this application . The basis for the club's objection are relevant to our articles of association. Charitable Trust number 805580. The applicant's ecologist report contains no schedule of breeding birds utilising the site. The date of their report is April 2025. However, before this time there had been site visits to assess the habitats present. There should have been ample opportunity at that juncture to have conducted, at the very least, a species appraisal of UK residents. The later arriving migrants, April onwards, could have been appraised by the process of researching the club's annual reports. The club expects Stockton to ensure that a professional ecological scrutiny of their report takes place by their officers. Further, OS Ecology's recommendations in

Section 6.0 should be a planning requirement in the event of the application's planning approval. The requirement for habitat offsetting should be a key feature of the planning conditions. As there is no opportunity to perform habitat offsetting on site, the loss of grassland habitat should be offset - ideally within the borough or the county.

40. **PADHI Health & Safety Executive**
Does Not Cross Any Consultation Zones

Publicity

41. Neighbours were notified by individual letters and wider publicity has been given via press advert and site notice.

175 letters of general representation have been received stating they would support a safe, continuous walking and cycling route from Kirklevington to Yarm, using land adjacent to Judges This would provide a huge benefit to all residents travelling to schools, yarm or beyond and asked if this could be provided by the developer, This would

- Protect our children traveling to school
- Make pushchair and wheel chair access easier
- Support a healthy option of travel of walking to Yarm/School etc.
- Reduce traffic on the A67 which is already dangerous primarily down to your obsession with ruining Yarm with constant expansion.

13 objections have been received and a summary of the comments received are below

- Site lies outside the Limits to Development and encroaches into protected countryside
- Parkland associated with the historic estate should be preserved
- MOD Heritage - 1949 anti-aircraft command bunker (later converted to agricultural use).
- Site's landscape described as unique and valued in local historical accounts.
- Similar previous applications on the site have been refused and dismissed at appeal on this basis.
- Concern that the site is being transformed into an urbanised entertainment complex surrounded by new housing
- Building works would erode the green buffer between Yarm and Kirklevington.
- Proposed density (self-builds, lodges, parking, hard surfacing) would impact the rural character of the site.
- Concerns over the noise and any amplified music
- Spa and Events building will be dominant and create acoustic reflections
- Dwellings would dominate the Hall and would be out of character
- Concerns over loss of woodland
- NPPF encourages brownfield sites not greenfield
- 5 year supply - How do expensive plots help people onto the housing ladder
- Proposed self-build plots sit on land known to flood during heavy rain and there is a risk that development will prevent natural drainage and increase flood risk to existing properties situated at a lower level.
- Concerns over subsidence
- Woodland forms an important habitat for protected species, and the woodland lodges and infrastructure would disrupt ecology through clearance and increased activity.
- Concerns SUDS discharge and any hot-tub water entering Saltersgill Beck.
- Concerns over the events marquee, spa, increased traffic, and associated noise.

- Impact of noise from woodland lodges and associated vehicle movements near rear gardens
- Development in the woods is a fire risk
- Yarm's road network cannot support cumulative development pressure A67 already gridlocked at peak times; development would worsen congestion.
- A67 is fast, narrow, with blind bends — unsafe for pedestrians and cyclists.
- Need for a dedicated walking and cycling route between Kirklevington and Yarm.
- Concerns over long-term disruption due to staggered self-build construction.
- Views expressed that developer has means to fund hotel without erosion of parkland.
- Fears of a “Trojan Horse” approach enabling further housing once a precedent is set.
- Potential future conversion of woodland lodges to housing once principle of development is established.
- Current bus service supported by a temporary Section 106 agreement; future funding uncertain and could the developer contribute?.
- Will this development Impact on the facilities in the High Street
- Many objectors support the hotel, spa, events venue and restoration works only with the view that these should proceed without enabling housing or woodland lodges.
- If approved, binding conditions/Section 106 obligations should be used to guarantee hotel delivery before residential aspects.

7 letters of support have been received and summarised below

- The refurbished hotel is seen as an asset that would attract business visitors into the Tees Valley area, increasing overnight stays in Yarm.
- Proposed spa facilities are expected to be well-used and valued by residents in and around Yarm.
- The approximately 27 proposed self-build homes will have minimal traffic impact,
- Profit made will support the hotel and spa refurbishment.
- Self-build properties are considered likely to generate local economic activity through the use of local contractors and suppliers.
- The scheme provides facilities not offered by other recent housing developments
- Kirklevington Hall is valued locally for its historic character, and its closure has been regretted by the community.

Planning Policy Considerations

42. Where an adopted or approved development plan contains relevant policies, Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that an application for planning permissions shall be determined in accordance with the Development Plan(s) for the area, unless material considerations indicate otherwise. In this case the relevant Development Plan is the Stockton on Tees Borough Council Local Plan 2019.
43. Section 143 of the Localism Act came into force on the 15 January 2012 and requires the Local Planning Authority to take local finance considerations into account, this section s70(2) Town and Country Planning Act 1990 as amended requires in dealing with such an application the authority shall have regard to a) the provisions of the development plan, so far as material to the application, b) any local finance considerations, so far as material to the application and c) any other material considerations.

National Planning Policy Framework

44. The purpose of the planning system is to contribute to the achievement of sustainable development. Achieving sustainable development means that the planning system has three overarching objectives, which are interdependent and need to be pursued in mutually supportive ways. These are economic social and environmental objectives.
45. So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11) which for decision making means approving development proposals that accord with an up-to-date development plan without delay; or where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date, granting permission unless the application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed; or any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole.

Paragraph 84. Planning policies and decisions should avoid the development of isolated homes in the countryside unless one or more of the following circumstances apply: a) there is an essential need for a rural worker, including those taking majority control of a farm business, to live permanently at or near their place of work in the countryside; b) the development would represent the optimal viable use of a heritage asset or would be appropriate enabling development to secure the future of heritage assets

Paragraph 88. Planning policies and decisions should enable:

- a) the sustainable growth and expansion of all types of business in rural areas, both through conversion of existing buildings and well-designed, new buildings;
- b) the development and diversification of agricultural and other land-based rural businesses;
- c) sustainable rural tourism and leisure developments which respect the character of the countryside; and
- d) the retention and development of accessible local services and community facilities, such as local shops, meeting places, sports venues, open space, cultural buildings, public houses and places of worship.

Paragraph 135. Planning policies and decisions should ensure that developments:

- a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;
- b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;
- c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);
- d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit;
- e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and
- f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.

Paragraph 136. Trees make an important contribution to the character and quality of urban environments, and can also help mitigate and adapt to climate change. Planning policies and decisions should ensure that new streets are tree-lined, that opportunities are taken to incorporate trees elsewhere in developments (such as parks and community orchards), that appropriate measures are in place to secure the long-term maintenance of newly-planted trees, and that existing trees are retained wherever possible. Applicants and local planning authorities should work with highways officers and tree officers to ensure that the right trees are planted in the right places, and solutions are found that are compatible with highways standards and the needs of different users

Paragraph 216. The effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. In weighing applications that directly or indirectly affect non-designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset.

Paragraph 221. Local planning authorities should assess whether the benefits of a proposal for enabling development, which would otherwise conflict with planning policies but which would secure the future conservation of a heritage asset, outweigh the disbenefits of departing from those policies

Local Planning Policy

46. The following planning policies are considered to be relevant to the consideration of this application.

Strategic Development Strategy Policy 1 (SD1) - Presumption in favour of Sustainable Development

1. In accordance with the Government's National Planning Policy Framework (NPPF), when the Council considers development proposals it will take a positive approach that reflects the presumption in favour of sustainable development contained in the NPPF. It will always work proactively with applicants jointly to find solutions which mean that proposals for sustainable development can be approved wherever possible, and to secure development that improves the economic, social and environmental conditions in the area.
2. Planning applications that accord with the policies in this Local Plan (and, where relevant, with policies in neighbourhood plans) will be approved without delay, unless material considerations indicate otherwise.
3. Where there are no policies relevant to the application or relevant policies are out of date at the time of making the decision then the Council will grant permission unless material considerations indicate otherwise - taking into account whether:
 - Any adverse impacts of granting permission would significantly and demonstrably outweigh the benefits, when assessed against the policies in the NPPF taken as a whole; or,
 - Specific policies in that Framework indicate that development should be restricted.

Strategic Development Strategy Policy 3 (SD3) - Housing Strategy

1. The housing requirement of the Borough will be met through the provision of sufficient deliverable sites to ensure the maintenance of a rolling five year supply of deliverable housing land. Should it become apparent that a five year supply of deliverable housing land cannot be identified at any point within the plan period, or delivery is consistently falling below the housing requirement, the Council will work

with landowners, the development industry and relevant stakeholders and take appropriate action in seeking to address any shortfall.

2. The following are priorities for the Council:

- a. Delivering a range and type of housing appropriate to needs and addressing shortfalls in provision; this includes the provision of housing to meet the needs of the ageing population and those with specific needs.
- b. Providing accommodation that is affordable.
- c. Providing opportunities for custom, self-build and small and medium sized house builders.

3. The approach to housing distribution has been developed to promote development in the most sustainable way. This will be achieved through:

a. Supporting the aspiration of delivering housing in the Regenerated River Tees Corridor (as identified on the Policies Map) in close proximity to Stockton Town Centre. Key regeneration sites which provide major opportunities for redevelopment include: Queens Park North, Victoria Estate, Tees Marshalling Yard and Land off Grange Road

b. Supporting residential development on sites within the conurbation as defined by the limits to development which comprises the main settlements of Stockton, Billingham, Thornaby, Ingleby Barwick, Eaglescliffe and Yarm.

c. Creating a Sustainable Urban Extension to West Stockton.

d. Promoting major new residential development at Wynyard leading to the area becoming a sustainable settlement containing general market housing and areas of executive housing in a high-quality environment.

e. Supporting residential development in villages (as shown on the Policies Map) through the recognition of existing commitments and new build within the limits to development where the land is not allocated for another purpose.

4. New dwellings within the countryside will not be supported unless they:

a. Are essential for farming, forestry or the operation of a rural based enterprise; or

b. Represent the optimal viable use of a heritage asset; or

c. Would re-use redundant or disused buildings and lead to an enhancement of the immediate setting; or

d. Are of an exceptional quality or innovative nature of design. Such a design should:

i. be truly outstanding or innovative, helping to raise standards of design more generally in rural areas;

ii. reflect the highest standards in architecture;

iii. significantly enhance its immediate setting; and

iv. be sensitive to the defining characteristics of the local area.

Strategic Development Strategy Policy 4 (SD4) - Economic Growth Strategy

1. Economic development needs will be directed to appropriate locations within the Borough to ensure the delivery of sustainable economic growth.

2. Proposals for the redevelopment of previously developed land, in particular prominent

Town Centres

10. Stockton Primary Shopping Frontage will be the main location for new retail development to 2032, whilst the wider town centre will be the main location for new leisure and evening economy uses.

11. Proposals for new town centre uses will be directed to suitable and available sites and premises in the centres within the Town Centres Hierarchy

13. Should any planning application proposals for main town centre uses in edge or out-of-centre locations emerge, such proposals will be determined in accordance with the Sequential and Impact tests set out in Policy EG3 alongside prevailing national planning policy, having regard to the catchment area of the proposal.

Sustainable Tourism and the Tranquil River Corridor

17. Support will be given to sustainable tourism proposals in the Borough's main town centres, tourist attractions, main parks and country parks, as well as enhancing the River Tees as a leisure, recreation and water sports destination. Out of centre proposals should be clearly related to activity in these areas and be of an appropriate scale, having regard to the intrinsic character of the countryside, in particular the desire to protect and enhance the tranquil River Tees, Leven and Bassleton Beck corridors as represented by the green wedge.

Employment and Training Opportunities

19. Support will be given to the creation of employment and training opportunities for residents. Major development proposals will demonstrate how opportunities arising from the proposal will be made accessible to the Borough's residents, particularly those in the most deprived areas and priority groups.

Strategic Development Strategy Policy 5 (SD5) - Natural, Built and Historic Environment

To ensure the conservation and enhancement of the environment alongside meeting the challenge of climate change the Council will:

1. Conserve and enhance the natural, built and historic environment through a variety of methods including:
 - a) Ensuring that development proposals adhere to the sustainable design principles identified within Policy SD8.
 - b) Protecting and enhancing designated sites (including the Teesmouth and Cleveland Coast Special Protection Area and Ramsar) and other existing resources alongside the provision of new resources.
 - c) Protecting and enhancing green infrastructure networks and assets, alongside the preservation, restoration and re-creation of priority habitats, ecological networks and the protection and recovery of priority species.
 - d) Enhancing woodlands and supporting the increase of tree cover where appropriate.
 - e) Supporting development of an appropriate scale within the countryside where it does not harm its character and appearance, and provides for sport and recreation or development identified within Policies SD3 and SD4.
 - f) Ensuring any new development within the countryside retains the physical identity and character of individual settlements.
 - g) Directing appropriate new development within the countryside towards existing underused buildings on a site for re-use or conversion in the first instance. Only where it has been demonstrated to the satisfaction of the local planning authority that existing underused buildings would not be appropriate for the intended use should new buildings be considered.
 - h) Supporting the conversion and re-use of buildings in the countryside where it provides development identified within Policies SD3 and SD4, and meets the following criteria:
 - i. The proposed use can largely be accommodated within the existing building, without significant demolition and rebuilding;
 - ii. Any alterations or extensions are limited in scale;
 - iii. The proposed use does not result in the fragmentation and/or severance of an agricultural land holding creating a non-viable agricultural unit; and
 - iv. Any associated outbuildings/structures are of an appropriate design and scale.
 - i) Considering development proposals within green wedges against Policy ENV6.
 - j) Ensuring development proposals are responsive to the landscape, mitigating their visual impact where necessary. Developments will not be permitted where they would lead to unacceptable impacts on the character and distinctiveness of the Borough's landscape unless the benefits of the development clearly outweigh any harm.

Wherever possible, developments should include measures to enhance, restore and create special features of the landscape.

k) Supporting proposals within the Tees Heritage Park which seek to increase access, promote the area as a leisure and recreation destination, improve the natural environment and landscape character, protect and enhance cultural and historic assets, and, promote understanding and community involvement.

l) Preventing both new and existing development from contributing to or being put at unacceptable risk from, or being adversely affected by unacceptable levels of ground, air, water, light or noise pollution or land instability. Wherever possible proposals should seek to improve ground, air and water quality.

m) Encouraging the reduction, reuse and recycling of waste, and the use of locally sourced materials.

2. Meet the challenge of climate change, flooding and coastal change through a variety of methods including:

a. Directing development in accordance with Policies SD3 and SD4.

b. Delivering an effective and efficient sustainable transport network to deliver genuine alternatives to the private car.

c. Supporting sustainable water management within development proposals.

d. Directing new development towards areas of low flood risk (Flood Zone 1), ensuring flood risk is not increased elsewhere, and working with developers and partners to reduce flood risk.

e. Ensuring development takes into account the risks and opportunities associated with future changes to the climate and are adaptable to changing social, technological and economic conditions such as incorporating suitable and effective climate change adaptation principles.

f. Ensuring development minimises the effects of climate change and encourage new development to meet the highest feasible environmental standards.

g. Supporting and encouraging sensitive energy efficiency improvements to existing buildings.

h. Supporting proposals for renewable and low carbon energy schemes including the generation and supply of decentralised energy.

3. Conserve and enhance the historic environment through a variety of methods including:

a. Celebrating, promoting and enabling access, where appropriate, to the historic environment.

b. Ensuring monitoring of the historic environment is regularly undertaken.

c. Intervening to enhance the historic environment especially where heritage assets are identified as being at risk.

d. Supporting proposals which positively respond to and enhance heritage assets.

e. Recognising the area's industrial heritage, including early history, railway and engineering heritage and the area's World War II contribution.

Strategic Development Strategy Policy 6 (SD6) - Transport and Infrastructure Strategy

1. To provide realistic alternatives to the private car, the Council will work with partners to deliver a sustainable transport network. This will be achieved through improvements to the public transport network, routes for pedestrians, cyclists and other users, and to local services, facilities and local amenities.

2. To ensure the road network is safe and there are reliable journey times, the Council will prioritise and deliver targeted improvements at key points on the local road network and work in conjunction with Highways England to deliver improvements at priority strategic locations on the strategic road network.

3. The Council will work with partners to deliver community infrastructure within the neighbourhoods they serve. Priority will be given to the provision of facilities that

contribute towards sustainable communities, in particular the growing populations at Ingleby Barwick, Yarm, Eaglescliffe, Wynyard Sustainable Settlement and West Stockton Sustainable Urban Extension.

4. To ensure residents needs for community infrastructure are met, where the requirement is fully justified and necessary, the Council will support planning applications which:

- a. Provide for the expansion and delivery of education and training facilities.
- b. Provide and improve health facilities.
- c. Provide opportunities to widen the Borough's cultural, sport, recreation and leisure offer.

5. Proposals will be encouraged where they provide for the expansion of communications networks, including telecommunications and high speed broadband; especially where this addresses gaps in coverage.

Strategic Development Strategy Policy 7 (SD7) - Infrastructure Delivery and Viability

1. The Council will ensure appropriate infrastructure is delivered when it is required so it can support new development. Where appropriate and through a range of means, the Council will seek to improve any deficiencies in the current level of infrastructure provision. The Council will also work together with other public sector organisations, within and beyond the Borough, to achieve funding for other necessary items of infrastructure.

2. New development will be required to contribute to infrastructure provision to meet the impact of that growth through the use of planning obligations and other means including the Community Infrastructure Levy (CIL). Planning obligations will be sought where:

- a. It is not possible to address unacceptable impacts through the use of a condition; and,
- b. The contributions are:
 - i Necessary to make the development acceptable in planning terms;
 - ii Directly related to the development; and
 - iii Fairly and reasonably related in scale and kind to the development.

3. Where the economic viability of a new development is such that it is not reasonably possible to make payments to fund all or part of the infrastructure required to support it, applicants will need to provide robust evidence of the viability of the proposal to demonstrate this. In these circumstances, the Council may:

- a. Enter negotiations with the applicant over a suitable contribution towards the infrastructure costs of the proposed development, whilst continuing to enable viable and sustainable development; and/or
- b. Consider alternative phasing, through the development period, of any contributions where to do so would sufficiently improve the economic viability of the scheme to enable payment.

Strategic Development Strategy Policy 8 (SD8) - Sustainable Design Principles

1. The Council will seek new development to be designed to the highest possible standard, taking into consideration the context of the surrounding area and the need to respond positively to the:

- a. Quality, character and sensitivity of the surrounding public realm, heritage assets, and nearby buildings, in particular at prominent junctions, main roads and town centre gateways;
- b. Landscape character of the area, including the contribution made by existing trees and landscaping;

- c. Need to protect and enhance ecological and green infrastructure networks and assets;
 - d. Need to ensure that new development is appropriately laid out to ensure adequate separation between buildings and an attractive environment;
 - e. Privacy and amenity of all existing and future occupants of land and buildings;
 - f. Existing transport network and the need to provide safe and satisfactory access and parking for all modes of transport;
 - g. Need to reinforce local distinctiveness and provide high quality and inclusive design solutions, and
 - h. Need for all development to be designed inclusively to ensure that buildings and spaces are accessible for all, including people with disabilities.
2. New development should contribute positively to making places better for people. They should be inclusive and establish a strong sense of place, using streetscapes and buildings to create attractive and comfortable places to live, work and visit.
 3. All proposals will be designed with public safety and the desire to reduce crime in mind, incorporating, where appropriate, advice from the Health and Safety Executive, Secured by Design, or any other appropriate design standards.
4. New development will seek provision of adequate waste recycling, storage and collection facilities, which are appropriately sited and designed.
 5. New commercial development will be expected to provide appropriately designed signage and shop fronts.

Natural, Built and Historic Environment Policy 1 (ENV1) - Energy Efficiency

1. The Council will encourage all development to minimise the effects of climate change through meeting the highest possible environmental standards during construction and occupation.

The Council will:

- a. Promote zero carbon development and require all development to reduce carbon dioxide emissions by following the steps in the energy hierarchy, in the following sequence:
 - i. Energy reduction through 'smart' heating and lighting, behavioural changes, and use of passive design measures; then,
 - ii. Energy efficiency through better insulation and efficient appliances; then,
 - iii. Renewable energy of heat and electricity from solar, wind, biomass, hydro and geothermal sources; then
 - iv. Low carbon energy including the use of heat pumps, Combined Heat and Power and Combined Cooling Heat and Power systems; then
 - v. Conventional energy.
 - b. Require all major development to demonstrate how they contribute to the greenhouse gas emissions reduction targets set out in Stockton-on-Tees' Climate Change Strategy 2016; and
 - c. Support and encourage sensitive energy efficiency improvements to existing buildings.
2. Proposals are encouraged where development:
- a. Incorporates passive design measures to improve the efficiency of heating, cooling and ventilation; and
 - b. Includes design measures to minimise the reliance on artificial lighting through siting, design, layout and building orientation that maximises sunlight and daylight, passive ventilation and avoids overshadowing.
- Non domestic
4. All new non-residential developments up to and including 499 sq m of gross floor space will be completed to a Building Research Establishment Environmental

Assessment Method (BREEAM) minimum rating of 'very good' (or any future national equivalent).

5. All new non-residential developments of 500 sq m and above of gross floor space will be required to:

- a. Submit an energy statement demonstrating how the energy hierarchy has been applied to make the fullest contribution to CO2 reduction; and
- b. Be completed to a Building Research Establishment Environmental Assessment Method (BREEAM) minimum rating of 'very good' (or any future national equivalent).

Natural, Built and Historic Environment Policy 4 (ENV4) - Reducing and Mitigating Flood Risk

1. All new development will be directed towards areas of the lowest flood risk to minimise the risk of flooding from all sources, and will mitigate any such risk through design and implementing sustainable drainage (SuDS) principles.

2. Development on land in Flood Zones 2 or 3 will only be permitted following:

a. The successful completion of the Sequential and Exception Tests (where required); and

b. A site specific flood risk assessment, demonstrating development will be safe over the lifetime of the development, including access and egress, without increasing flood risk elsewhere and where possible reducing flood risk overall.

3. Site specific flood risk assessments will be required in accordance with national policy.

4. All development proposals will be designed to ensure that:

a. Opportunities are taken to mitigate the risk of flooding elsewhere;

b. Foul and surface water flows are separated;

c. Appropriate surface water drainage mitigation measures are incorporated and Sustainable Drainage Systems (SuDS) are prioritised; and

d. SuDS have regard to Tees Valley Authorities Local Standards for Sustainable Drainage (2015) or successor document.

5. Surface water run-off should be managed at source wherever possible and disposed of in the following hierarchy of preference sequence:

a. To an infiltration or soak away system; then,

b. To a watercourse open or closed; then,

c. To a sewer.

6. Disposal to combined sewers should be the last resort once all other methods have been explored.

7. For developments which were previously developed, the peak runoff rate from the development to any drain, sewer or surface water body for the 1-in-1 year rainfall event and the 1-in-100 year rainfall event should be as close as reasonably practicable to the greenfield runoff rate from the development for the same rainfall event, but should never exceed the rate of discharge from the development prior to redevelopment for that event. For greenfield developments, the peak runoff rate from the development to any highway drain, sewer or surface water body for the 1-in-1 year rainfall event and the 1-in-100 year rainfall event should never exceed the peak greenfield runoff rate for the same event.

8. Within critical drainage areas or other areas identified as having particular flood risk issues the Council may:

a. Support reduced run-off rates.

b. Seek contributions, where appropriate, towards off-site enhancements directly related to flow paths from the development, to provide increased flood risk benefits to the site and surrounding areas.

9. Sustainable Drainage Systems (SuDS) should be provided on major development (residential development comprising 10 dwellings or more and other equivalent commercial development) unless demonstrated to be inappropriate. The incorporation of SuDS should be integral to the design process and be integrated with green infrastructure. Where SuDS are provided, arrangements must be put in place for their whole life management and maintenance.

10. Through partnership working the Council will work to achieve the goals of the Stockton-on-Tees Local Flood Risk Management Strategy and the Northumbria Catchment Flood Management Plan. This will include the implementation of schemes to reduce the risk of flooding to existing properties and infrastructure. Proposals which seek to mitigate flooding, create natural flood plains or seek to enhance and/or expand flood plains in appropriate locations will be permitted.

11. To reduce the risk of flooding the Council is working in partnership with the Environment Agency to deliver a Flood Alleviation Scheme on Lustrum Beck.

Natural, Built and Historic Environment Policy 5 (ENV) - Preserve, Protect and Enhance Ecological Networks, Biodiversity and Geodiversity

1. The Council will protect and enhance the biodiversity and geological resources within the Borough. Development proposals will be supported where they enhance nature conservation and management, preserve the character of the natural environment and maximise opportunities for biodiversity and geological conservation particularly in or adjacent to Biodiversity Opportunity Areas in the River Tees Corridor, Teesmouth and Central Farmland Landscape Areas.

2. The Council will preserve, restore and re-create priority habitats alongside the protection and recovery of priority species.

3. Ecological networks and wildlife corridors will be protected, enhanced and extended. A principal aim will be to link sites of biodiversity importance by avoiding or repairing the fragmentation and isolation of natural habitats.

4. Sites designated for nature or geological conservation will be protected and, where appropriate enhanced, taking into account the following hierarchy and considerations:
a. Internationally designated sites - Development that is not directly connected with or necessary to the management of the site, but which is likely to have a significant effect on any internationally designated site, irrespective of its location and when considered both alone and in combination with other plans and projects, will be subject to an Appropriate Assessment. Development requiring Appropriate Assessment will only be allowed where:

i. It can be determined through Appropriate Assessment, taking into account mitigation, the proposal would not result in adverse effects on the site's integrity, either alone or in combination with other plans or projects; or ii. as a last resort, where, in light of negative Appropriate Assessment there are no alternatives and the development is of overriding public interest, appropriate compensatory measures must be secured.

b. Nationally designated sites - Development that is likely to have an adverse effect on a site, including broader impacts on the national network of Sites of Special Scientific Interest (SSSI) and combined effects with other development, will not normally be allowed. Where an adverse effect on the site's notified interest features is likely, a development will only be allowed where:

i. the benefits of the development, at this site, clearly outweigh both any adverse impact on the sites notified interest features, and any broader impacts on the national network of SSSI's;

ii. no reasonable alternatives are available; and

iii. mitigation, or where necessary compensation, is provided for the impact.

c. Locally designated sites: Development that would have an adverse effect on a site(s) will not be permitted unless the benefits of the development clearly outweigh the harm to the conservation interest of the site and no reasonable alternatives are available. All options should be explored for retaining the most valuable parts of the sites interest as part of the development proposal with particular consideration given to conserving irreplaceable features or habitats, and those that cannot readily be recreated within a reasonably short timescale, for example ancient woodland and geological formations. Where development on a site is approved, mitigation or where necessary, compensatory measures, will be required in order to make development acceptable in planning terms.

5. Development proposals should seek to achieve net gains in biodiversity wherever possible. It will be important for biodiversity and geodiversity to be considered at an early stage in the design process so that harm can be avoided and wherever possible enhancement achieved (this will be of particular importance in the redevelopment of previously developed land where areas of biodiversity should be retained and recreated alongside any remediation of any identified contamination). Detrimental impacts of development on biodiversity and geodiversity, whether individual or cumulative should be avoided. Where this is not possible, mitigation and lastly compensation, must be provided as appropriate. The Council will consider the potential for a strategic approach to biodiversity offsetting in conjunction with the Tees Valley Local Nature Partnership and in line with the above hierarchy.

6. When proposing habitat creation it will be important to consider existing habitats and species as well as opportunities identified in the relevant Biodiversity Opportunity Areas. This will assist in ensuring proposals accord with the 'landscape scale' approach and support ecological networks.

7. Existing trees, woodlands and hedgerows which are important to the character and appearance of the local area or are of nature conservation value will be protected wherever possible. Where loss is unavoidable, replacement of appropriate scale and species will be sought on site, where practicable.

Natural, Built and Historic Environment Policy 6 (ENV6) - Green Infrastructure, Open Space, Green Wedges and Agricultural Land

1. Through partnership working, the Council will protect and support the enhancement, creation and management of all green infrastructure to improve its quality, value, multi-functionality and accessibility in accordance with the Stockton-on-Tees Green Infrastructure Strategy and Delivery Plan.

2. Where appropriate, development proposals will be required to make contributions towards green infrastructure having regard to standards and guidance provided within the Open Space, Recreation and Landscaping SPD or any successor. Green infrastructure should be integrated, where practicable, into new developments. This includes new hard and soft landscaping, and other types of green infrastructure. Proposals should illustrate how the proposed development will be satisfactorily integrated into the surrounding area in a manner appropriate to the surrounding townscape and landscape setting and enhances the wider green infrastructure network.

Natural, Built and Historic Environment Policy 7 (ENV7) - Ground, Air, Water, Noise and Light Pollution

1. All development proposals that may cause groundwater, surface water, air (including odour), noise or light pollution either individually or cumulatively will be required to incorporate measures as appropriate to prevent or reduce their pollution so as not to cause unacceptable impacts on the living conditions of all existing and

potential future occupants of land and buildings, the character and appearance of the surrounding area and the environment.

2. Development that may be sensitive to existing or potentially polluting sources will not be sited in proximity to such sources. Potentially polluting development will not be sited near to sensitive developments or areas unless satisfactory mitigation measures can be demonstrated.

3. Where development has the potential to lead to significant pollution either individually or cumulatively, proposals should be accompanied by a full and detailed assessment of the likely impacts. Development will not be permitted when it is considered that unacceptable effects will be imposed on human health, or the environment, taking into account the cumulative effects of other proposed or existing sources of pollution in the vicinity. Development will only be approved where suitable mitigation can be achieved that would bring pollution within acceptable levels.

4. Where future users or occupiers of a development would be affected by contamination or stability issues, or where contamination may present a risk to the water environment, proposals must demonstrate via site investigation/assessment that:

a. Any issues will be satisfactorily addressed by appropriate mitigation measures to ensure that the site is suitable for the proposed use, and does not result in unacceptable risks which would adversely impact upon human health and the environment; and

b. Demonstrate that development will not cause the site or the surrounding environment to become contaminated and/or unstable.

5. Groundwater and surface water quality will be improved in line with the requirements of the European Water Framework Directive and its associated legislation and the Northumbria River Basin Management Plan. Development that would adversely affect the quality or quantity of surface or groundwater, flow of groundwater or ability to abstract water will not be permitted unless it can be demonstrated that no significant adverse impact would occur or mitigation can be put in place to minimise this impact within acceptable levels.

6. To improve the quality of the water environment the Council will:

a. Support ecological improvements along riparian corridors including the retention and creation of river frontage habitats;

b. Avoid net loss of sensitive inter-tidal or sub-tidal habitats and support the creation of new habitats; and

c. Protect natural water bodies from modification, and support the improvement and naturalisation of heavily modified water bodies (including de-culverting and the removal of barriers to fish migration).

Housing Policy 4 (H4) - Meeting Housing Needs

1. Sustainable residential communities will be created by requiring developers to provide a mix and balance of good quality housing of appropriate sizes, types and tenures which reflects local needs and demand, having regard to the Strategic Housing Market Assessment, its successor documents or appropriate supporting documents.

3. The Council require 20% of new homes to be affordable on schemes of more than 10 dwellings or with a combined gross floorspace of above 1000sqm.

4. Where an applicant considers that the provision of affordable housing in accordance with the requirements of this policy would make the scheme unviable, they must submit a full detailed viability assessment to demonstrate the maximum level of affordable housing that could be delivered on the site. The applicant will be expected to deliver the maximum level of affordable housing achievable.

5. Affordable housing will normally be provided on-site as part of, and integrated within housing development to help deliver balanced communities. This provision should be distributed across sites in small clusters of dwellings. Off-site affordable housing or a commuted sum will only be acceptable where:

- a. All options for securing on-site provision of affordable housing have been explored and exhausted; or
- b. The proposal is for exclusively executive housing, where off-site provision would have wider sustainability benefits and contribute towards the creation of sustainable, inclusive and mixed communities; or
- c. The proposal involves a conversion of a building which is not able to accommodate units of the size and type required; or
- d. Any other circumstances where off-site provision is more appropriate than on-site provision.

6. Where off-site affordable housing or a commuted sum is considered acceptable, the amount will be equivalent in value to that which would have been viable if the provision was made onsite and calculated with regard to the Affordable Housing Supplementary Planning Document 8 or any successor.

10. To widen the overall housing offer, the Council will support the delivery of custom and selfbuild housing. The Council will:

- a. Regularly monitor the demand for custom and self-build housing and assist in facilitating the delivery of land/sites, where appropriate.
- b. Encourage applicants to consider incorporating plots for custom and self-build housing within larger housing developments.

Historic Environment Policy 2 (HE2) - Conserving and Enhancing Stockton's Heritage Assets

1. In order to promote and enhance local distinctiveness, the Council will support proposals which positively respond to and enhance heritage assets.
2. Where development has the potential to affect heritage asset(s) the Council require applicants to undertake an assessment that describes the significance of the asset(s) affected, including any contribution made by their setting. Appropriate desk-based assessment and, where necessary, field evaluation will also be required where development on a site which includes or has the potential to include heritage assets with archaeological interest. Applicants are required to detail how the proposal has been informed by assessments undertaken.
3. Development proposals should conserve and enhance heritage assets, including their setting, in a manner appropriate to their significance. Where development will lead to harm to or loss of significance of a designated or non-designated heritage asset the proposal will be considered in accordance with Policy SD8, other relevant Development Plan policies and prevailing national planning policy.
5. Where the significance of a heritage asset is lost (wholly or in part) the Council will require developers to record and advance the understanding of the significance of the heritage asset in a manner proportionate to the importance of the asset and impact of the proposal. Recording will be required before development commences.
6. The following are designated heritage assets:
 - a. Scheduled Monuments - Castle Hill; St. Thomas a Becket's Church, Grindon; Barwick Medieval Village; Round Hill Castle Mound and Bailey; Larberry Pastures Settlement Site; Newsham Deserted Medieval Village; Stockton Market Cross and Yarm Bridge
 - b. Registered Parks and Gardens - Ropner Park and Wynyard Park
 - c. Conservation Areas - Billingham Green; Bute Street; Cowpen Bewley; Eaglescliffe with Preston; Egglecliffe, Hartburn; Norton; Stockton Town Centre; Thornaby Green; Wolviston and Yarm

d. Listed Buildings

7. The Council has identified assets on a Local List, which are considered as having local

10. Non-designated heritage assets of archaeological interest that are demonstrably of equivalent significance to scheduled monuments, should be considered subject to policies for designated heritage assets.

11. Where archaeological remains survive, whether designated or not, there will be a presumption in favour of their preservation in-situ. The more significant the remains, the greater the presumption will be in favour of this. The necessity for preservation in-situ will result from desk-based assessment and, where necessary, field evaluation. Where in-situ preservation is not essential or feasible, a programme of archaeological works aimed at achieving preservation by record will be required.

12. Any reports prepared as part of a development scheme will be submitted for inclusion on the Historic Environment Record.

Transport and Infrastructure Policy 1 (T1) - Transport Infrastructure

Delivering A Sustainable Transport Network

1. To support economic growth and provide realistic alternatives to the private car, the Council will work with partners to deliver an accessible and sustainable transport network. This will be achieved through improvements to the public transport network and routes for pedestrians, cyclists and other users.

2. A comprehensive, integrated and efficient public transport network will be delivered by:

- a. Retaining essential infrastructure that will facilitate sustainable passenger movements by bus, rail and water;
- b. Supporting proposals for the provision of infrastructure which will improve the operation, punctuality and reliability of public transport services;
- c. Supporting upgrades to railway stations within the Borough to improve access and safety;
- d. Improving public transport interchanges to allow integration between different modes of transport;
- e. Working with public transport operators to maintain and enhance provision wherever possible;
- f. Working with partners to promote the provision of accessible transport options for persons with reduced mobility; and
- g. Ensuring appropriate provision is made for taxis and coaches.

3. Accessible, convenient, and safe routes for pedestrians, cyclists and other users will be delivered by:

- a. Improving, extending and linking the Borough's strategic and local network of footpaths, bridleways and cycleways; and
- b. Improving the public realm and implementing streetscape improvements to ensure they provide a safe and inviting environment.

New Development

10. Existing sustainable transport and public transport infrastructure will be protected from development which would impair its function or attractiveness to users.

11. To assist consideration of transport impacts, improve accessibility and safety for all modes of travel associated with development proposals, the Council will require, as appropriate, a Transport Statement or Transport Assessment and a Travel Plan.

12. The Council and its partners will seek to ensure that all new development, where appropriate, which generate significant movements are located where the need to travel can be minimised, where practical gives priority to pedestrian and cycle movements, provides access to high quality public transport facilities and offers

prospective residents and/or users with genuine sustainable transport options. This will be achieved by seeking to ensure that:

- a. Transport choices are widened and the use of sustainable transport modes are maximised. New developments provide access to existing sustainable and public transport networks and hubs. Where appropriate, networks are extended and new hubs created. When considering how best to serve new developments, measures make best use of capacity on existing bus services before proposing new services and consideration is given to increasing the frequency of existing services or providing feeder services within the main network.
- b. Suitable access is provided for all people, including those with disabilities, to all modes of transport.
- c. Sufficient accessible, and convenient operational and non-operational parking for vehicles and cycles is provided, and where practicable, incorporates facilities for charging plug-in and other ultra-low emission vehicles. Any new or revised parking provision is of sufficient size and of a layout to facilitate it's safe and efficient operation.
- d. Appropriate infrastructure is provided which supports Travel Demand Management to reduce travel by the private car and incentivises the use of sustainable transport options.
- e. New development incorporates safe and secure layouts which minimises conflict between traffic, cyclists or pedestrians.

13. The Council's approach to transport infrastructure provision is set out in Policy SD7.

Transport and Infrastructure Policy 2 (TI2) - Community Infrastructure

1. There is a need to ensure that community infrastructure is delivered and protected to meet the needs of the growing population within the Borough. To ensure community infrastructure meets the education, cultural, social, leisure/recreation and health needs of all sections of the local community, the Council will:

- a. Protect, maintain and improve existing community infrastructure where appropriate and practicable;
- b. Work with partners to ensure existing deficiencies are addressed; and
- c. Require the provision of new community infrastructure alongside new development in accordance with Policy SD7.

4. To ensure needs for community infrastructure are met, the Council will:

- a. Support opportunities to widen the cultural, sport, recreation and leisure offer;
- c. Encourage the multi-purpose use of facilities to provide a range of services and facilities within one accessible location;

Transport and Infrastructure Policy 3 (TI3) - Communications Infrastructure

7. Developers should demonstrate how proposals for new homes, employment or main town centre uses will contribute to and be compatible with local fibre and internet connectivity.

8. Taking into consideration viability, the Council require developers of new homes, employment or main town centre uses to deliver, as a minimum, on-site infrastructure including open access ducting to industry standards, to enable new premises and homes to be directly served by local fibre and internet connectivity. This on-site infrastructure should be provided from homes and premises to the public highway or other location justified as part of the planning application. Where possible, viable and desirable, the provision of additional ducting will be supported where it allows the expansion of the network.

Material Planning Considerations

47. The main material consideration in the determination of the application is the principle of development, impact on the character of the hall and wider area, impact on neighbours, highways and flood risk and any other residual matters

Principle of development for the Hotel Works

48. The application includes a number of elements in relation to the hotel.
49. The full application for Phase 1 works include
- refurbishment and extensions to the hotel and Victorian stables and development of a new covered walkway from the hotel to the Victorian stable building
 - Full Application for the event pavilion;
 - Demolition of the existing staff accommodation in the walled garden to be replaced by eight self-contained lodges and potting shed offices;
 - car parking and associated works
50. Phase 2 works are expected to be delivered approximately five years after the completion of Phase 1 works and bringing the hall into operation
- Full Application for the erection of a new spa;
 - Outline planning permission woodland lodges, and associated infrastructure..
51. The elements above are considered to accord with Strategic Development Strategy Policy 4 (SD4) - Economic Growth Strategy which states *“Support will be given to sustainable tourism proposals in the Borough's main town centres, tourist attractions, main parks and country parks, as well as enhancing the River Tees as a leisure, recreation and water sports destination. Out of centre proposals should be clearly related to activity in these areas and be of an appropriate scale”*
52. In terms of national policy, Paragraph 88 of the National Planning policy Framework seeks to support a strong rural economy that amongst other things supports *“the sustainable growth and expansion of all types of business in rural areas”* and *“enables sustainable tourism and leisure developments which respect the character of the countryside”*, stating that *“local planning authorities should support sustainable rural tourism and leisure developments that benefits rural business ...”*
53. Taking this into account it is considered that in policy terms the principle of this element of the scheme is acceptable.
54. Outline planning permission is also sought for residential development comprising 26 self-build residential plots. The Applicant states these are needed to deliver Phase 1 and bring the hotel back into operation. This element of the scheme will provide approximately 65% of the costs with the remaining 35% being provided from private funds. This is considered further at Paragraphs 64-71.

Principle of development for the housing development

55. The National Planning Policy Framework (NPPF) sets out the governments objectives for the planning system and in particular those for achieving sustainable development. The three dimensions of sustainable development are economic, social and environmental. The NPPF also includes a number of core planning principles one of which is the need to identify and meet housing needs as well as respond positively to

wider opportunities for growth. Paragraph 61 of the NPPF details the importance the Government attaches to boosting significantly the supply of housing.

56. In terms of local planning policies there are no specific designations which apply to this site other than the site lies outside the limits to development, consequently the site forms part of the open countryside.
57. Policy SD3 seeks to control development within the countryside beyond these limits and is restricted unless it meets certain criteria. The site is also considered to be a non designated heritage asset and Policy HE2 states *“Development proposals should conserve and enhance heritage assets, including their setting, in a manner appropriate to their significance. Where development will lead to harm to or loss of significance of a designated or non-designated heritage asset the proposal will be considered in accordance with Policy SD8, other relevant Development Plan policies and prevailing national planning policy”*.

Five Year housing supply

58. The Council cannot demonstrate a 5 year supply and the application will need to be determined in accordance with Paragraph 11 of the NPPF which states *“for decision-taking this means approving development proposals that accord with the development plan without delay; where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date , granting permission unless the application of policies in this Framework that protect areas or assets of particular importance provides a strong reason for refusing the development proposed; or ii. any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole, having particular regard to key policies for directing development to sustainable locations, making effective use of land, securing well-designed places and providing affordable homes, individually or in combination”*.
59. Paragraph 232 of the NPPF states policies should not be considered out of date simply because they were adopted prior to the publication of the Framework and due weight should be given to relevant policies in existing plans according to their degree of consistency with the Framework, i.e. the closer the policies in the plan to those in the Framework, the greater the weight that may be given. In terms of visual impact, policies to safeguard the countryside are relevant along with the protection of non designated heritage assets and are considered further below. These policies are broadly consistent with the Framework.
60. However, the approach of Policy SD3 in seeking to control the principle of development beyond settlement boundaries is more restrictive than the approach set out in the Framework. The balancing of harm against benefit is a defining characteristic of the Framework’s overall approach embodied in the presumption in favour of sustainable development. Because of this, where Policy SD3 is used to restrict housing, it cannot be seen to be consistent with the Framework and is therefore out of date and the proposal should therefore be assessed using the approach set out in the second bullet point of the decision-taking section of paragraph of the Framework and only if the Council is able to demonstrate harm which “significantly and demonstrably” outweighs the benefits of the development should consent be refused.

Self Build and Custom Build

61. Under section 1 of the Self Build and Custom Housebuilding Act 2015, local authorities are required to keep a register of those seeking to acquire serviced plots in the area for their own self-build and custom house building. They are also subject to duties under sections 2 and 2A of that Act to have regard to this and to give enough suitable development permissions to meet the identified demand.
62. Paragraph 73 of the NPPF states small and medium sized sites can make an important contribution to meeting the housing requirement of an area, are essential for Small and Medium Enterprise housebuilders to deliver new homes and are often built-out relatively quickly. To promote the development of a good mix of sites local planning authorities should amongst other requirements ... seek opportunities, through policies and decisions, to support small sites to come forward for community-led development for housing and self-build and custom build housing. Local Plan Policy SD3 also supports this stating it is a priority for the council to provide opportunities for custom, self-build and small and medium sized house builders.

Sustainability

63. One of the core land-use planning principles, in the National Planning Policy Framework is "*the need for planning to actively manage patterns of growth to make the fullest possible use of public transport, walking and cycling and to focus significant development in locations which are or can be made sustainable*". In terms of proximity to services, the is close to the existing settlement of Yarm to which has a number of facilities. This view was supported in previous appeal decisions.

Financial Considerations

64. Phase 1 of the development will be funded by a combination of profits from the residential development and private investor funding, whilst Phase 2 will be funded by further private investment funding and from the business itself, with Phase 1 having become fully self-sufficient after year 5 of the operation. Whilst the application is not accompanied by full and detailed costings, the applicant has carried out a RIBA Stage 3 Assessment which gives an overview of costings which are listed below

Phase 1 Development

Hotel development cost: £7,439,138

Victorian Stables development cost: £2,381,500

Walled Garden development cost: £1,281,600

Phase 1 Total: £11,102,238

Phase 2 Development

Woodland Lodges development cost: £4,226,400

Spa development cost: £12,352,500

Phase 2 Total: £16,578,900

Shared Phase 1 & 2 Costs

External works development cost: £2,062,975

Contingency (10%): £2,974,411

Phase 1 & 2 Shared Costs: £5,037,386

Total Project Cost

Total development cost: £32,718,524

65. The business plan sets out that by year 5 of operation, once the hotel facility is fully operational and established, the development will be fully self-funding and able to fund the delivery of the spa facility and woodland lodges,
66. To deliver phase 1 the Applicant states that a number of residential plots should be sold for self-build development to enable the development to proceed. Whilst is not strictly 'enabling development', like that seen for listed building applications, it can be used for commercial ventures where the merits of the scheme can be balanced against the harm. However, it is considered that the basic principles of this approach, are the same;

The enabling development would not normally be considered acceptable in the absence of the wider benefits which are being 'enabled' by that development

67. The benefits of the scheme are bringing the hall back into active use. Supporting information states the housing development provides sufficient funding (approximately 70% of the Phase 1 costs) to incentivise private funder investment in the remainder of the Phase 1 development and sufficient funding to 'pump prime' the development to a point where the hotel itself will become self-sufficient

The enabling development should be the 'minimum necessary' to ensure the works which are being enabled can be completed, without the need to secure further enabling development at a later date

68. In terms of whether this is the minimum required, despite requests to be provided there are no full and detailed costings. The RIBA stage 3 information submitted gives high level information suitable for a 'normal' planning application but as this includes non-policy compliant development (the housing) more certainty over costs was requested. The applicant states this is sufficient to determine the application. It is therefore not known whether this is the minimum necessary ((or even whether the funding requirements are much higher and what the implications of this will be)) and will it required further enabling works at a later date?
69. Historic England Guidance states "*It is not in the public interest to pursue enabling development if there are alternative means of delivering the same outcome for the heritage asset, such as other sources of public or private investment*" and therefore there should be the opportunity to look at funding from alternative sources such as private investment. The Applicant states that there is part funding being from a private individual, there is some likelihood that an element of bank lending will be involved, but that is only viable at an appropriate loan to value level. The applicants state that without the housing development, the interest rates and loan to value could not support a meaningful restoration of the hotel which achieves the required standard of accommodation. Consequently, it would not provide the level of attraction to the intended clientele and the significant economic and tourism benefits associated with the development could not be fully realised.

The scheme which is being enabled should have an identifiable end use which, itself, becomes self-funding to cover the costs of future maintenance and upkeep

70. The end use is the hotel and should it be successful will cover costs. Maintenance and upkeep

The enabling development should still comply with as many of the development plan policies as possible to minimise the extent of impacts

71. Full details are considered through the report and whilst there is a clear conflict this will be weighed up in the planning balance when forming a conclusion

Visual Implications/Character of the area

72. Kirklevington Hall's estate comprises woodland belts, parkland, formal gardens, and Saltergill Beck, all contributing to its historic rural character. Woodland areas provide strong screening; parkland has been reduced by modern development; the Hall and gardens hold scenic but modest architectural significance. Modern residential properties now influence views and the estate's setting. Nonetheless it is considered that the setting of the main building and the attractiveness is generally based on the landscape immediately surrounding the hall which has remained unchanged since being built in 1881. The statement of significance referred to in the LVIA states "*The parkland around Kirklevington Hall is fundamental to its setting and contributes to its historic and architectural significance*" and previous appeals have recognised this parkland setting.
73. The LVIA identifies various character types across the site, ranging in sensitivity from high to low and the predicted landscape effects vary from major/moderate to minor positive, with the most significant effects occurring within the parkland. Effects on Kirklevington Hall itself and Saltergill Beck are considered to be minor,
74. The report states that the landscape sensitivity to development is judged to be medium, recognising both the heritage value of the estate and the practical need for ongoing investment to maintain its designed features.
75. A landscape strategy accompanies the proposals, aiming to integrate development into the existing parkland, The assessment acknowledges both the mitigation provided through this strategy and the unavoidable visual and landscape effects resulting from the development.
76. The housing takes up a significant proportion of the open Parkland to the east of the Hall. It is considered that this would have an adverse impact on the open parkland setting of the hall and associated grounds. The submitted Landscape Appraisal identifies that the greatest landscape change would be generated by new housing plots in the Parkland land a Major/Moderate adverse impact is identified, which is considered appropriate.
77. As detailed in the LVIA, Major/Moderate means that the proposed scheme would have a very noticeable effect on the landscape and would affect several or many receptors, therefore changing the character of a view.

Heritage matters

78. A Heritage impact assessment accompanies the application and has considered the effect of significant on this non designated asset. In summary the alterations to Kirklevington Hall (Rear Elevation) and the internal Alterations (which can be undertaken without planning permission are assessed as having a Minor Adverse Effect on architectural significance. This also applies to the Stable Block Alterations, and the impact of the new developments include spa building, car parks, events pavilion, woodland lodges. The works to the Walled Garden are minor, maintaining overall character and assessed as having a Neutral Effect.

79. In terms of the Executive Housing (North-East Parkland) this introduces a more suburban character into the landscape. The report states that will be in part of the parkland that is less sensitive to change because of the existing developments that have emerged along Kirklevington Hall Drive and screening provided by the trees to the north and east of the Hall. However, the proposed residential development will significantly increase the amount of development within the parkland to the north - east and this will be visible on the approach to the Hall. This will change the character and appearance of the parkland and the sequential views that are possible from the historic gate lodge and drive, from the modern drive to the east and when viewing the site from the A67. This will erode the character of the Hall's overall setting. The impact of this part of the development is only partly mitigated by its low density, the large gardens and the retention of parkland tree clumps and specimen trees. Whilst these aspects of the design will help to visually break up, screen and filter views of the residential development, the openness of the parkland setting will inevitably be eroded, which will have a Moderate Adverse Effect upon the Hall's setting and a Minor Adverse effect upon the Hall's significance
80. The report has been considered by the Councils Historic Buildings Officer (HBO) who acknowledges that minor harm has occurred in the 20th century through insensitive development but consider that this has not entirely eroded the character.
81. In general, no concerns are raised regarding the works to the main hall or the holiday lodges to the west of the site which are considered well shielded by the planting, and subject to any necessary controls to the surrounding trees, could be considered acceptable.
82. In terms of the hall the front elevation still faces mostly onto open grassland, and this positively enhances the setting. The HIA also states that the '*...woodland and open parkland studded with tree clumps ...were carefully designed in the 1880s to provide a picturesque setting that could be enjoyed from the Hall and when travelling through the estate*'. In the opinion of the HBO the removal of this open parkland setting would negatively erode this component of the Hall's design. The setting and approach to the building was a carefully designed set piece that was meant to impress visitors before they had entered the house, and the change in setting and approach through the development of a housing estate would negatively impact on the significance of the Hall as a whole. It is acknowledged that the newer drive route does affect how the property is viewed on approach, however the significance of the front views and open setting is not negatively impacted by the newer approach road.
83. Whilst the HIA states that the elevations facing the garden and woodland were prioritised, whilst the front elevation 'lacks symmetry and features windows that are more modest and arranged irregularly', in the opinion of the HBO who notes elevation differences are important, consider that the lack of symmetry on the front elevation does not indicate a lesser architectural design importance and views to and from this elevation were still carefully designed to present a clear message about the wealth and status of the owner; consequently, it positively adds to the building's historical and architectural significance.
84. It is therefore considered that the development of the houses will have a negative impact on the setting of the Hall and erode the important parkland setting, albeit of a non-designated heritage asset.

85. Should the application be approved, Tees Archaeology have requested that as there are a number of proposals that will affect physically affect Hall and outbuildings; building recording is undertaken prior to any works being carried out. This can be conditioned. The former bunker should also be retained which has been conditioned.

Archaeology

86. An archaeological desk-based assessment (DBA) and geophysical survey has been undertaken. The reports have been considered by Tees Archology who would prefer trial trenching to be undertaken predetermination. However following negotiations, a compromise has been reached and have recommended a number of conditions, and TA advise this is a risk to the applicant as it may involve amendments to the plans.
87. The Senior Heritage Consultant for the Agent maintains that the previous trial trenching which has taken place within the site verifies the accuracy of the geophysical survey within the site. Both results support the conclusion of the DBA that the significance of any as of yet unknown archaeology within the developable area of the site including any potential remains associated with the site would be low.
88. Therefore, there is strong assurance that no significant archaeology would be encountered during post-determination evaluation which would require changes to the Proposed Development or its layout.
89. Taking both opinions into account and the phased nature of the development, it is considered reasonable to condition further archaeological work and the conditions by TA have been recommended.

Noise

90. The applicant has submitted a Noise Impact Assessment and additional information, and clarification has been provided throughout the course of the application. The Environmental Health Team have considered the proposal and there are several elements which can give concerns to noise as detailed below;
91. Marquee ; this is temporary events marquee which would only be acceptable at this moment with a restriction on music. This can be conditioned
92. Spa: Whilst there are some anomalies in the noise report the EHO is of the opinion that with mitigation measures in place such as acoustic enclosures/ screening so that the developments do not background noise level at night is not exceeded. Whilst the EHO objects to the rating level values to be achieved a further noise impact assessment can be submitted once plant details are known to ensure appropriate mitigation measures are applied
93. Lodges: These sites are considered unsuitable for long term occupancy as they will be subject to noise, however the use as “holiday lets only” can be conditioned as the nature of these facilities are subject to noise and potential guests will be aware of the site and the operations. In terms of noise from these residencies a management plan is required and has been conditioned. These conditions have been recommended on other similar sites and are considered reasonable.
94. Self-Build Plots : The report demonstrates the outline proposal for residential properties is sufficient in acoustic terms. To mitigate the noise levels from the traffic on the A67, an

acoustic fence can be implemented and windows closed and trickle ventilation. A full noise impact assessment should be undertaken and submitted once final design and layout is known and ventilation and overheating may need further consideration. The NPPG for noise does not preclude this method of preventing noise stating “*whether any adverse internal effects can be completely removed by closing windows and, in the case of new residential development, if the proposed mitigation relies on windows being kept closed most of the time (and the effect this may have on living conditions). In both cases a suitable alternative means of ventilation is likely to be necessary*”. It is therefore considered that this would not be reason for refusal and future occupiers would be aware of the constraints on the site and would design houses appropriately.

95. Overall, it is considered that noise implications would not be a constraint subject to appropriate conditions which can be recommended.

Impacts on Residential Amenity of existing premises

96. There are a number of residential properties within the grounds of the former hall. These premises have existed alongside the hotel use largely without any complaints (according to the records that we hold). In terms of the hotel development the potential impact would be from noise and increase in traffic movements.
97. The greatest noise would be from the use of the marquee and the lodges, both of which can be controlled via conditions and appropriate management controls. It is considered that with these controls and due to the siting and intervening separation distances
98. In terms of the self-build housing the main change would be the loss of the parkland setting and view from the houses. Whilst this is considered to be a significant change, there is no legal right to a view to private individuals, therefore this would not be a reason to refuse the application. The plots can be designed to achieve the separate distances and ensure no overlooking or loss of privacy.
99. The application is accompanied by a design code which sets out a maximum dwelling height of 10 metres and a maximum of 2.5 storeys. Whilst the main hall is approximately 12 metres some of the existing houses are also much lower in height.
100. Nevertheless, the design code seeks to guide appropriate development and it does not mean that in all cases that is an appropriate scale of development, such aspects will be for the consideration at the reserved matters stage based on the individual dwelling proposed for each plot. The eastern portion of the plots are considered more suitable to the 2.5 storey scale, with the remainder of the plots needing to take into account the overall siting, design, topography and existing forms of development.
101. In terms of traffic the road to the self-build housing is from the main access road and it is unlikely that there will be any disturbance from passing vehicular traffic. There maybe an increase in footfall from users of the overnight accommodation, but it is not considered that this would be to such an extent to cause noise and disturbance. Accordingly, the management plan will include methods to limit and control noise from patrons.
102. Overall, it is considered that with appropriate conditions the scheme can be managed and designed to ensure no adverse impact on existing residents.

Air Quality

103. An Air Quality Assessment accompanies the application as the proposals have the potential to cause air quality impacts as a result of fugitive dust emissions during construction and road traffic exhaust emissions during operation.
104. Potential impacts during the operational phase from traffic exhaust emissions were assessed using detailed dispersion modelling and the results showed that the impacts were not predicted to be significant at any receptor location.
105. In terms of construction, the submission of a Construction Environmental Management Plan for each phase has been conditioned to ensure impacts are minimised.
106. The report was considered by the Environment Health Team who raised no objection submitted to the condition as recommended.

Highway safety/Transport impacts

107. The applicant has submitted a Transport Statement (TS) in support of the proposals. The TS sets out that the development would generate an additional 57 and 56 two-way movements in the AM and PM peak periods respectively when the extant lawful use of the site as a hotel has been considered.
108. The submitted information has been considered by the Highways Transport and Design Manager who has confirmed that once the new traffic generation has been distributed onto the highway network the development trips are quickly dissipated and as a result the proposed development will not cause a material impact on the operation of the surrounding road network.
109. The scheme also includes adequate car parking for all elements of the proposals.
110. No highways objections to the proposal have been received from the HTDM or National Highways subject to conditions to secure a construction traffic management plan for each phase which has been recommended.

Provision of a footpath

111. A number of letters have been received stating they support the provision of a footpath between Kirklevington and Yarm
112. The proposal was considered by the Transport Planning and Strategy Manager and Principal Tree and Woodland Officer however it was considered that the implementation of this scheme would have a significant and detrimental impact on this current aspect, both visually and environmentally and the attractive appeal of the area. In terms of the feasibility of the scheme it was considered it would significantly affect the current and historic landscape character with significant wider impacts to the woodland as a whole.
113. The applicant has states that pedestrians can use the access through the hall grounds (not the new houses as this is to be designed as a gated community to separate from the wider hotel facility). This is a private road, and it is within the gift of the applicant to allow access but as it is not essential to make the application acceptable and there

could be impacts on existing residents it is not considered appropriate to secure this via condition although the applicant would be willing to accept a condition to this effect.

Flood risk

114. The application is accompanied by a Flood Risk Assessment and Drainage Strategy
115. Concerns have been raised that there is a risk that development will prevent natural drainage and increase flood risk to existing properties situated at a lower level, however the submitted Flood Risk Assessment has demonstrated that the proposed development will not increase existing flood risk on or offsite. The proposed development will be served by a sustainable drainage scheme which is designed to accommodate surface water flows for up-to the 1 in 100 year + climate change storm event.
116. No objections have been raised by the Environment Agency, the Lead Local Flood Authority or NWL subject to a number of conditions being applied. These conditions have been recommended.

Ecology

117. The application is accompanied by a ECIA and associated surveys. The findings are as follows;
118. Bats: Surveys have been undertaken and there are no immediate constraints to the development. It is recommended that additional surveys are undertaken prior to the commencement of Phase 1 works to confirm the continued absence of bats. The site is concluded likely to be of local value to bats, and the report recommended that once the final location of the woodland lodges are confirmed, additional survey work is recommended as part of any reserved matters application.
119. Breeding Birds: Since the submission of the application a further assessment has been undertaken and has confirmed there will be a Loss of breeding species that fall within the habitats to be lost to the proposals and potential disturbance to the Schedule 1 species, barn owl, should works be undertaken during the breeding season. There will also be a potential loss of breeding species within the boundary features and retained habitats as a result of habitat loss and or increased disturbance, loss of open foraging areas utilised by a limited range of species and increased disturbance to retained habitats on site and adjacent as a result of the development. The report includes a number of measures to limit or prevent disturbance which have been secured by condition.
120. Amphibians: eDNA samples taken in 2024 and 2025 returned a negative result and, as such, great crested newts are considered likely absent. No other relevant species were recorded within the ponds. Recommendations have been made and including the avoidance of pond removal which should be protected during works. An amphibian method statement should be provided before works commence on site.
121. No evidence of badgers or Otters have been recorded and there are no further constraints to development. The submitted reports make a number of recommendations which have been conditioned. It is considered that with these recommendations being adhered to there will be no significant impact on ecology.

122. In terms of Biodiversity Net Gain, it is a mandatory requirement to achieve a 10% or greater gain in biodiversity units. A Biodiversity Net Gain (BNG) Assessment Accompanies the application which confirms that the 10% gain objective has not been met and purchase of additional units from an off-site provider is proposed which will meet the requirements. The production of a Habitat Management Maintenance and Management Plan has been conditioned should additional habitat creation and enhancement measures take place on site.

Nutrient Neutrality

123. A Shadow Habitat Regulations Assessment (sHRA) and Nutrient Budget Calculator accompanies the application confirming Nutrient Credits are required to mitigate the nutrient budget for the development.
124. These credits have been sourced from a registered third-party provider, at their Nutrient Mitigation Site in the Tees Catchment. This will ensure the development will achieve Nutrient Neutrality.
125. At the time of writing the report, Natural England have confirmed the proposal acceptable in principle, but more information is required to accompany the Appropriate Assessment. This has been submitted and a response is awaited from NE.

Contaminated Land

126. A Phase 1 Geoenvironmental appraisal report accompanies the application which has recommended further works. The EHO has considered the report and raised no objections subject to a condition to secure further works and remediation if required

127.

Other matters

128. During the course of the applications in and around Yarm it became apparent that there are capacity issues in relation to providing electricity for future homes. Whilst this may affect delivery in the short term, the Council is required to maintain a rolling five-year housing land supply updated annually in line with paragraph 78 of the NPPF.
129. NPG were consulted and do not suggest that the required upgrade works will never come forward, only that the timescale is uncertain. This may affect the delivery of the housing which in turn could affect the delivery of the hotel
130. Comments from Network Rail are noted and conditions recommended.
131. Comments from Cleveland Fire Brigade have been received and whilst objections have been received in relation to fire risk, no concerns have been raised. The comments from the CFB have been passed to the applicant for information.
132. Comments from Cleveland Police and the place Team have been passed to the Applicant for consideration.

PLANNING BALANCE

133. In considering the development and the overall planning balance, it is recognised that there are clear conflicts with the Councils adopted planning policies.
134. As detailed in the report above, the provision of self build housing also results in harm to the parkland setting of Kirklevington Hall with regards to the landscape character and general setting of the non-designated heritage asset.
135. However, as part of the considerations of the application, the benefits of the scheme which is the delivery of Phase 1 – bringing the hall back into active use, has to be weighed against the harm.
136. There are also associated benefits in relation to phase 2 (the spa and the lodges) of the development in terms of; the extent of capital investment; employment both during and post construction; and associated tourism benefits. These benefits are acknowledged and noted, however, currently phase 2 is not guaranteed to be delivered as it depends on the profitability of the hotel and further investment. The benefits associated with the delivery of phase 2 are subsequently given less weight within the overall balance.
137. The benefits of the scheme from Phase 1 (which is reliant on proposed self build housing) during construction will involve £14.5 million capital investment (total construction cost); 110 direct FTE construction jobs during the 18-month build period; a further 135 indirect FTE supply chain jobs support throughout the build period; and £21.9 million of GVA (economic output) in each year of the build period.
138. Once operational there will be 95 permanent direct FTE operational jobs created; a further 55 indirect and induced jobs supported across the Tees Valley; and uplift in GVA (economic output) of £3.6 million of GVA per annum.
139. The applicant states there will be Tourism Impacts of 15,185 additional visitor nights per annum; £985,000 additional visitor expenditure from overnight visitors; and the spend could create demand in the wider economy for 9.2 FTE jobs across a range of sectors. The comments from the Tees Valley Combined Authority, with regards to the economic benefits and wider tourism benefits across the region are also noted.
140. Whilst the end goal is the Development of a 5 star hotel resort facility, including spa facilities and holiday lodge accommodation, it is important to stress that this is not guaranteed. For transparency, the proposed self-build housing would only contribute towards the delivery of Phase 1 only, which is the hotel refurbishment, which in turn (if successful) will hopefully in future support the delivery on the wider project.
141. Notwithstanding the associated benefits, the harm arising from the proposals would be the development of housing outside of the settlement limits and harm to the parkland setting and the historic hall due to the proposed housing development. Whilst it is not an argument the applicant is pursuing, given the current housing supply position, the delivery of housing and in particularly self and custom build housing weight in favour of the proposals.

Conclusion

142. In view of the considerations set out within this report, it is recognised that there is conflict with some policies of the current Local Plan and harm will arise from the proposed housing to the landscape character of setting of the non-designed heritage asset.
143. However, the refurbishment and reopening of Kirklevington Hall as a hotel offer, provides social and economic benefits which will support the local economy, tourism and wider tourism offer across the Tees Valley. These associated benefits are considered to outweigh the harm with regards to its overall setting and the terms of the section 106 agreement would look to control the phasing and delivery of the housing.
144. In addition, there remains potential for further growth and improvement in the hotel offer through the works associated with phase 2, though these aspects are not attributed any weight in favour of the proposals at this stage.
145. Given the above application is recommended be Approved Subject to Conditions as detailed in the report.

Financial Implications: No cost to the Council. Financial Benefits include contribution to affordable housing.

Environmental Implications : The application will lead to short term implications during construction. Any other environmental implications which are detailed in the report can be adequately controlled by condition. There are potential implications from noise too which can be controlled via condition.

Legal Implications No known implications

Community Safety Implications: The provisions of Section 17 of the Crime and Disorder Act 1998 have been taken into account in the preparation of this report.

Human Rights Implications: The provisions of the European Convention of Human Rights 1950 have been taken into account in the preparation of this report.

Ward and Ward Councillors

Ward Southern Villages
Ward Councillor Councillor Elsi Hampton

Background Papers

National Planning Policy Framework
National Planning Practice Guidance
Stockton on Tees Local Plan Adopted 2019
Adopted SPD's
Application files and Appeal Decisions

Name of Contact Officer: [Simon Grundy](#)

Post Title: [Planning Services Manager](#)

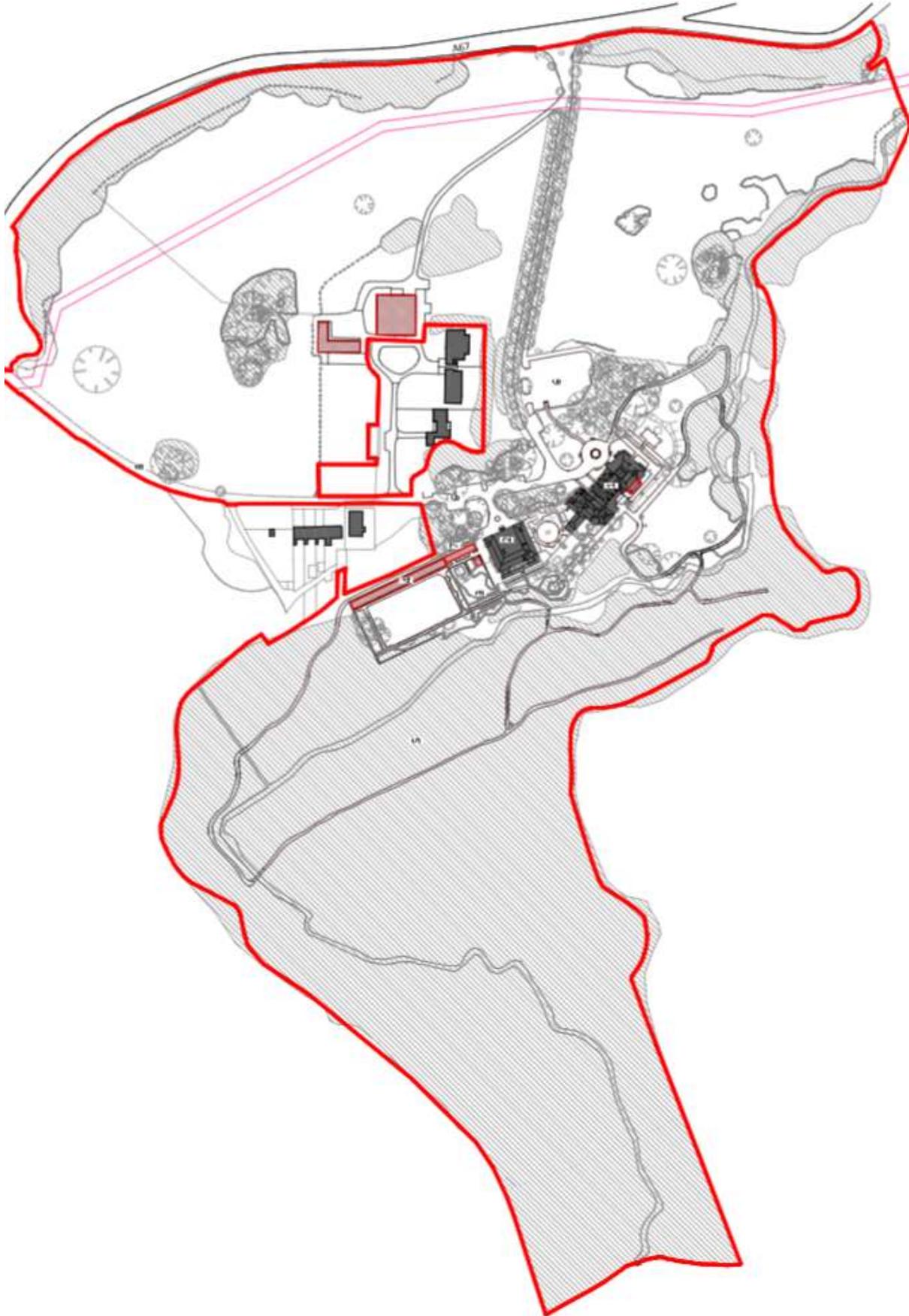
Telephone number: [01642 528550](tel:01642528550)

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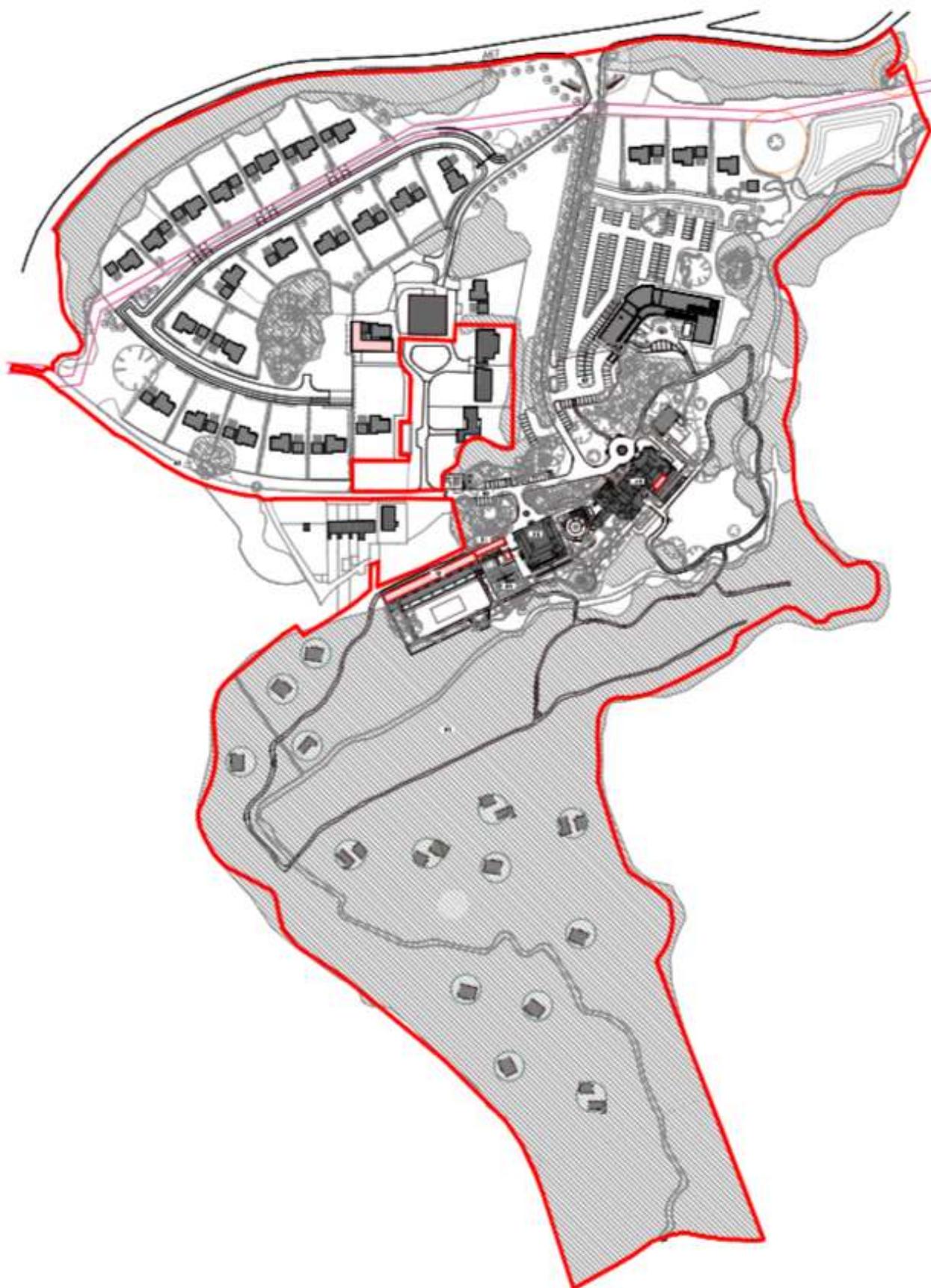
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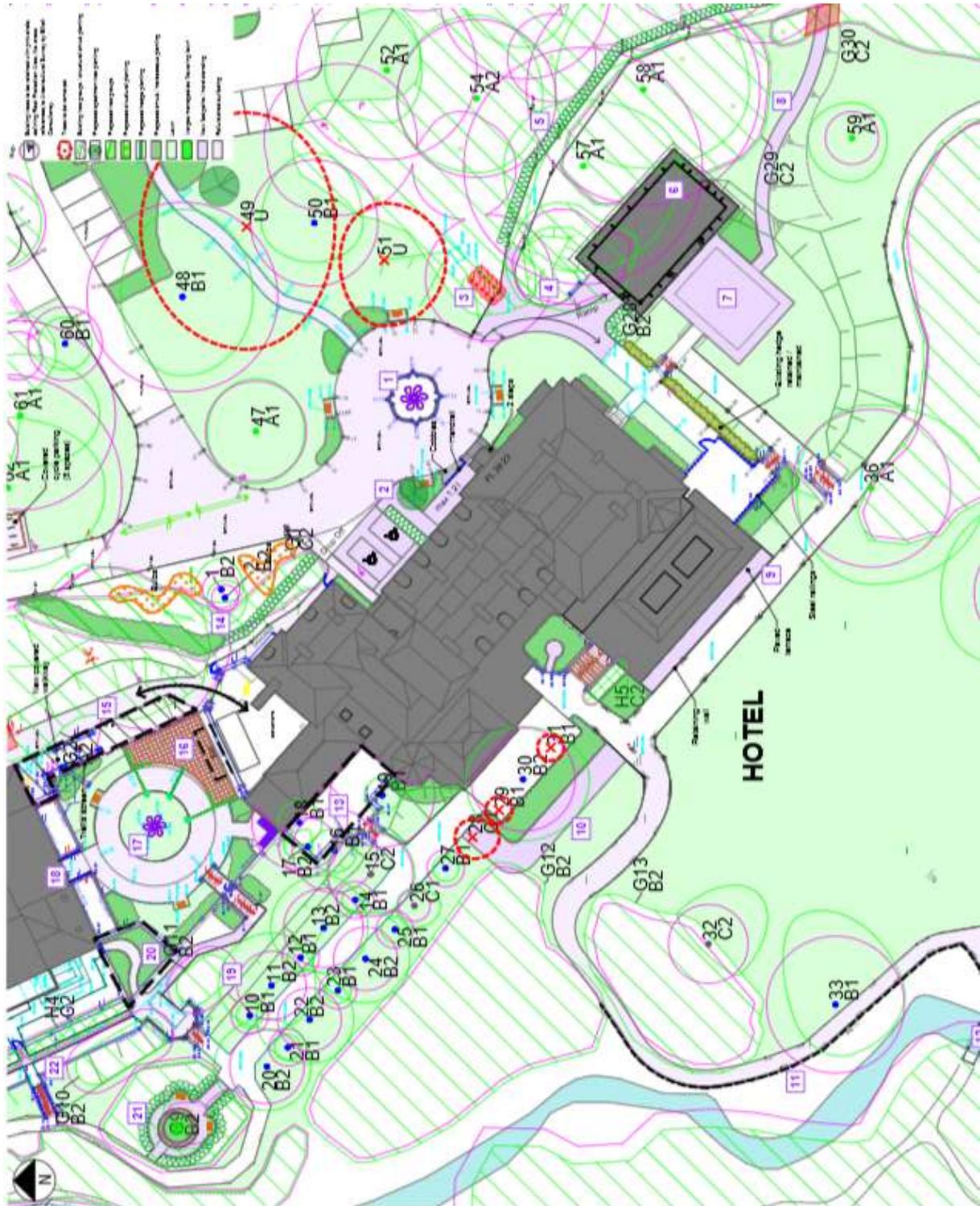


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Application Number 25/1001/FUL
Appendix 4 – Landscape Strategy Plan – Hotel Area



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Application Number 25/1001/FUL
Appendix 5 – Landscape Strategy Plan – Hotel Area (2)



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Application Number 25/1001/FUL
Appendix 8 – Landscape Strategy Plan Southern Park Land (TOTAL AREA)



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Application Number 25/1001/FUL
Appendix 9 – Landscape Strategy Plan Northern Park Land (TOTAL AREA)



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4.3 Country House Hotel and Restaurant Extension

Sketch perspective of restaurant extension and terrace

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Appendix 12 – Proposed Victoria Stables, Walled Garden and Potting Shed (Visuals)



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Rear Elevation



Side Elevation



Front Elevation



Side Elevation



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DELEGATED

Report to Planning Committee

Report of Director of Regeneration and Inclusive Growth

25/0865/FUL

2 The Willows, Stockton-on-Tees, TS19 8BD

Expiry Date: 26 June 2025

Extension of Time Date: 6 March 2026

Summary

The application site relates to a detached residential dormer bungalow located within the limits to development and within Stockton-on-Tees.

Planning permission is sought to increase the roof height of an existing dormer bungalow to 1.5 storey, erection of a single storey wrap around extension to the side/rear, erection of single storey extension to the front, single storey extension to the side and 1.8m high boundary treatment.

A total of 7no objection comments have been received from 3no households. No objections have been raised by statutory consultees.

The application site relates to a detached residential dwelling located within the limits to development.

The design and scale of the extensions were assessed against Local Plan policies and the NPPF, concluding that the revised scheme is proportionate to the plot size and would be largely coherent with surrounding development. Amenity concerns such as overlooking, privacy, and overbearing effects were mitigated through design changes, obscure glazing, and boundary treatments, while tree protection measures are to be secured by condition. Parking provision meets adopted standards, and no significant highway safety issues were identified. Overall, the development is considered acceptable in terms of character, amenity and highway safety considerations.

In accordance with the Council's scheme of delegation, the application is to be determined by Planning Committee as the application involves development on land which an interest is held by a Council Member (or their spouse/partner) or by any member of the Council staff (or their spouse/partner) and an objection representation has been received to the planning Application.

The application is therefore recommended for Approval.

Recommendation(s)

That planning application 25/0865/FUL be approved subject to the following conditions and informatives;

01 Time Limit

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: By virtue of the provision of Section 91 of the Town and Country Planning Act 1990 (as amended).

02 Approved Plans

The development hereby approved shall be in accordance with the following approved plan(s);

Plan Reference Number	Date Received
4000- 25 - 100 REV B	1 May 2025
4000- 25 - 101 E	16 October 2025
4000- 25 - 102 C	16 October 2025

Reason: To define the consent.

03 External Finishing Materials

The external finishing materials proposed shall be in accordance with the details contained within the submitted application form and thereafter retained for the lifetime of the development.

Reason: In the interests of visual amenity in accordance with NPPF para 135 and Local Plan policy SD8.

04 Tree Protection Plan

The scheme for the protection of trees on site shall be carried out in accordance with the details on approved plan 4000- 25 - 102 C submitted on 16 October 2025.

Reason: In the interests the health of the trees on site in accordance with NPPF para 136 and Local Plan policy SD8.

05 Boundary Treatment

The approved boundary treatment plan shall be in accordance with the submitted plan 4000- 25 - 102 C received on 16 October 2025 and shall be retained thereafter for the lifetime of the development.

Reason: In the interests of preserving neighbouring amenity in accordance with NPPF para 135 and Local Plan policy SD8.

06 Obscure Glazing

Notwithstanding the submitted drawings, the window on the south-western facing principal elevation at first floor serving an en-suite of the development hereby approved, shall be fitted with obscure glazing to at least obscuration factor 4. This window shall be maintained as such and be retained for the lifetime of the development.

Reason: In the interests of the amenity of the neighbouring properties in accordance with NPPF para 135 and Local Plan policy SD8.

07 Balcony/Raised terrace

The roof of the approved single storey flat roof extension hereby permitted shall not be used as a balcony, roof garden, terrace or other external amenity space at any time. No balustrade, railing, access door other means of access to the roof shall be installed without the prior written approval of the Local Planning Authority.

Reason: To safeguard the privacy and residential amenity of neighbouring properties in accordance with NPPF para 135 and Local Plan policy SD8.

Informative Reason for Planning Approval

Informative: Working Practices

The Local Planning Authority has worked in a positive and proactive manner and sought solutions to problems arising in dealing with the planning application by seeking a revised scheme to overcome issues and by the identification and imposition of appropriate planning conditions.

Informative: Bats and nesting birds

Bats and nesting birds are protected under the Wildlife and Countryside Act (1981) and the Conservation of Habitats and Species Regulations 2017. It is an offence to deliberately capture, injure, disturb or kill bats or damage or destroy a roost or habitat. Therefore close inspection of buildings should be undertaken for bats and their roosts, and nests prior to the commencement of any works. This should include any crevices, holes or cracks. If bird nests are evident works should be avoided during the bird nesting season (March-September). If bats are found, work should cease immediately, and contact be made with the National Bat Helpline on 0345 1300 228 or email the BCT on enquiries@bats.org.uk to discuss the best way forward.

Background

1. The planning history of the application site is summarised below:

- Outline application for the demolition of existing dwelling and erection of 3no detached dwellings (Ref: 99/0815/P) – Refused 20th July 1999
- Alterations & extension to provide new double garage, conservatory & porch & dormer windows to provide attic bedrooms (Ref: 00/0553/P) – Approved with Conditions 19th May 2000
- Outline application for the erection of 1no dwelling and new access (Ref: 99/1498/P) - Refused 2nd June 2000
- Extension to side to provide games room with bedroom/bathroom/store above and porch to front (Ref: 00/1197/P) - Approved with Conditions 20th September 2000
- Application to fell 6 no. lombardy poplar trees (T1 - T5 incl. and T10) and 1 no. ash tree (T9) (Ref: 06/3429/X) – Approved with Conditions 4th January 2007

2. Tree Preservation Order 322 S2/5378 (Ref: 00.8.5.322) is confirmed on several trees on the application site.

Site and Surroundings

3. The application site, hereby referred to as the Site, is a detached dormer bungalow located within Stockton-on-Tees.

4. The Site sits amongst a cluster of residential dwellinghouses accessed via a private way 'The Willows', which leads to 3no further residential dwellings; No.1, No.3 and No.4 The Willows.
5. The Site is within a verdant setting and is well screened by mature vegetation to all boundaries. A Tree Preservation Order covers several mature trees on Site (322 S2/5378 00.8.5.322).

Proposal

6. Planning permission is sought for the increase of the roof height of the existing host dwelling to 1.5 storey involving raising the ridge height by approximately 1.2 metres; from 5.7 metres to 6.8 metres in total height. The existing eaves height of approximately 2.8 metres would remain largely consistent throughout, with some extended portions of the host dwelling having enlarged eaves of approximately 4.7 metres.
7. The proposal includes the erection of a single storey wrap around extension to the side and rear of the dwelling consisting of both hipped and flat roofs. The side extension portion of this extension would house an integral garage and the rear extension housing a utility and living area.
8. Also included in the proposal is the erection of a single storey extension to the front, a single storey extension to the side and a 1.8 metre high boundary treatment within the curtilage.

Consultations

9. Consultees were notified and the following comments were received:-
10. Standard Advice Highways Transport & Design Manager
No objections, subject to any increase in parking provision being met in accordance with the Councils adopted Supplementary Planning Document SPD3.

Publicity

11. Neighbours were notified by individual letters. A summary of the comments received is below.

Objections

A total of 7no objection comments have been received from 3no households. The concerns are summarised below:

- Concerns regarding overlooking/window separation distance
- Concerns regarding reduced privacy
- Concerns regarding scale/design
- Concerns regarding overbearing
- Concerns regarding dwelling to plot ratios
- Concerns regarding typographical errors on submitted drawings
- Concerns regarding localised flooding
- Concerns regarding ASB and security of the Site
- Concerns regarding waste
- Concerns regarding access and damage to the private way during construction period

General representations:

A total of 1no general representation comments have been received from 1no address. The comments are summarised below:

- Comments regarding precedent for similarly approved development
- Comments regarding existing and similar built form already present on the Site

Planning Policy Considerations

12. Where an adopted or approved development plan contains relevant policies, Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that an application for planning permissions shall be determined in accordance with the Development Plan(s) for the area, unless material considerations indicate otherwise. In this case the relevant Development Plan is the Stockton on Tees Borough Council Local Plan 2019.
13. Section 143 of the Localism Act came into force on the 15 January 2012 and requires the Local Planning Authority to take local finance considerations into account, this section s70(2) Town and Country Planning Act 1990 as amended requires in dealing with such an application the authority shall have regard to a) the provisions of the development plan, so far as material to the application, b) any local finance considerations, so far as material to the application and c) any other material considerations.

National Planning Policy Framework

14. The purpose of the planning system is to contribute to the achievement of sustainable development. Achieving sustainable development means that the planning system has three overarching objectives, which are interdependent and need to be pursued in mutually supportive ways. These are economic social and environmental objectives.
15. So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11) which for decision making means;
 - approving development proposals that accord with an up-to-date development plan without delay; or
 - where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date, granting permission unless:
 - i. the application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed; or
 - ii. any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole.

Paragraph 135. Planning policies and decisions should ensure that developments:

- a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;
- b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;
- c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);
- d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit;

- e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and
- f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.

Paragraph 136. Trees make an important contribution to the character and quality of urban environments, and can also help mitigate and adapt to climate change. Planning policies and decisions should ensure that new streets are tree-lined, that opportunities are taken to incorporate trees elsewhere in developments (such as parks and community orchards), that appropriate measures are in place to secure the long-term maintenance of newly-planted trees, and that existing trees are retained wherever possible. Applicants and local planning authorities should work with highways officers and tree officers to ensure that the right trees are planted in the right places, and solutions are found that are compatible with highways standards and the needs of different users.

Local Planning Policy

16. The following planning policies are considered to be relevant to the consideration of this application.

Policy SD1 - Presumption in favour of Sustainable Development

1. In accordance with the Government's National Planning Policy Framework (NPPF), when the Council considers development proposals it will take a positive approach that reflects the presumption in favour of sustainable development contained in the NPPF. It will always work proactively with applicants jointly to find solutions which mean that proposals for sustainable development can be approved wherever possible, and to secure development that improves the economic, social and environmental conditions in the area.
2. Planning applications that accord with the policies in this Local Plan (and, where relevant, with policies in neighbourhood plans) will be approved without delay, unless material considerations indicate otherwise.

Policy SD3 - Housing Strategy

7. Proposals for all domestic extensions will be supported where they are in keeping with the property and the street scene in terms of style, proportion and materials, and avoid significant loss of privacy and amenity for the residents of neighbouring properties.

Policy SD8 – Sustainable Design Principles

1. The Council will seek new development to be designed to the highest possible standard, taking into consideration the context of the surrounding area and the need to respond positively to the:
 - a. Quality, character and sensitivity of the surrounding public realm, heritage assets, and nearby buildings, in particular at prominent junctions, main roads and town centre gateways;
 - b. Landscape character of the area, including the contribution made by existing trees and landscaping;
 - c. Need to protect and enhance ecological and green infrastructure networks and assets;
 - d. Need to ensure that new development is appropriately laid out to ensure adequate separation between buildings and an attractive environment;
 - e. Privacy and amenity of all existing and future occupants of land and buildings;

- f. Existing transport network and the need to provide safe and satisfactory access and parking for all modes of transport;
 - g. Need to reinforce local distinctiveness and provide high quality and inclusive design solutions, and
 - h. Need for all development to be designed inclusively to ensure that buildings and spaces are accessible for all, including people with disabilities.
2. New development should contribute positively to making places better for people. They should be inclusive and establish a strong sense of place, using streetscapes and buildings to create attractive and comfortable places to live, work and visit.

Householder Extensions and Alterations SPD

2.2 Window Separation Distances

It is extremely important to have an adequate gap between neighbouring properties to prevent a significant impact and minimise any loss of privacy from developments. The Council will seek a minimum of 21 metres separation distance to be maintained between the main habitable room windows of facing residential properties and the extension. Where a side extension would face the rear of a neighbouring property (or a rear extension would face the side of the neighbouring property), the Council will seek a minimum of 11 metres between the windows of the main habitable rooms.

These distances will increase if there is a variation in ground levels between the properties or a difference in the number of storeys (where a property of over 2 storeys is involved). As a minimum, the separation distance should be increased by 3 metres for every 1 metre rise in ground level.

Innovative design solutions and creativity in external and internal layouts to reduce the impact of a development could be applied to achieve satisfactory levels of privacy and may in some instances allow a reduction in the separation distance. In addition, the standard may be applied more flexibly if individual circumstances allow, as each application is considered on its own merits.

2.3 Privacy and Overshadowing

Extensions should not lead to the overshadowing of the neighbouring properties' main habitable room windows or private garden areas to an unreasonable degree. For a single storey rear extension, 3 metres from the original rear elevation should generally be appropriate, however this is dependent on various factors, including the scale, orientation and form of the extension as well as the house type and impact on neighbouring properties.

45 Degree Standard

The 45 degree standard applies to two-storey extensions with a greater than 3 metre projection from the rear elevation of a property. This tool is used in order to assess the potential impact of a proposal and maintain privacy and amenity for neighbouring properties. This rule normally applies to rear facing neighbouring windows that are perpendicular to the extension. It is calculated by drawing a line at a 45-degree angle from the centre of the nearest adjacent ground-floor main-habitable-window of your neighbour's property. If the line crosses the site of the proposed extension, in some instances, the Council may expect the extension to be reduced in size.

60 Degree Standard

The 60 degree standard follows the same principle as the 45 degree standard but relates to single storey extensions and involves a widening of the angle of the line to 60 degrees. This allows for single storey extensions generally having less bulk and causing less overshadowing than two-storey extensions. Extensions will not be accepted where they lead

to a notable loss of privacy for neighbouring residents. An impact on privacy can often be avoided or minimised through siting windows away from neighbouring properties and ensuring a sufficient separation distance is maintained.

2.5 Car Parking

Where planning permission is required for an extension which will provide an extra bedroom at a property or the proposal will involve the loss of a car parking space, such as through a garage conversion or from being built on an existing driveway, it will be expected that:

- Any loss of car parking, as a result of the proposed works, is re-provided within the property boundary and/or
- Any additional car parking requirement as a result of an increase in the number of bedrooms, except where a proposed bedroom is less than 6.5m², is provided within the property boundary.

The Council's Local Design Guide SPD provides advice on the required number of car parking spaces for the size of your property, and the minimum size of a car parking space/garage for it to be considered acceptable.

If you need to re-provide or create additional car parking, it is important to consider the proximity to existing highways junctions, other driveways, street trees and utility apparatus and then the accessibility of your property in terms of the position of dropped kerbs and gates, as well as the layout of the space which is available and the balance between the amount of soft and hard landscaping within your boundary. Please refer to the Garden and Boundary Treatments section of this SPD for further details.

3.1 Front Extensions

Porches are popular extensions to the front of properties and modest porches are rarely harmful to the character of an area. However, extensions to the front of properties will generally be visible in the street scene and must be designed to complement the area, as well as the original property.

In areas where there is a particularly uniform appearance or a dominant front line to the properties, extensions to the front of a dwelling, other than modest porches, are unlikely to be appropriate.

Front extensions should ensure that sufficient car parking is still retained in line with the standards in the Local Design Guide SPD. Front extensions are more likely to be appropriate if a dwelling is of an individual design or there is a staggered or indistinct building line. However, they should still match the design features of the original property and avoid being obtrusive.

3.2 Side Extensions

An extension to the side of a property will normally be very visible from the street and should be of a high quality design and reflect the character of the area. They should normally have a roof that matches or complements the original property. Flat roofs should be avoided, unless they are already a feature of the main dwelling.

Unless properties are widely spaced, side extensions have the potential to create a 'terracing' effect between closely set detached properties or pairs of semi-detached properties. Normally a gap of at least 1 metre is required between the outside wall of the extension and the boundary. The extension should also be set back from the front of the house by a minimum of 1 metre, at least at first floor level.

Two storey and first floor side extensions may be required to have a roof shape that matches the main property. Due to the potential for terracing, two storey and first floor extensions may also be required to have a ridge height that is lower than that of the main property.

There may be a number of other options which can be used to address terracing and these should be explored with the Council's Development Services team.

3.3 Rear Extensions

Rear extensions, which includes conservatories, are generally not as visible as front and side extensions, however the design of an extension at the back of a property is still very important. A key objective for the design of a rear extension is to avoid an unacceptable overbearing or oppressive impact upon neighbours or significant overshadowing of a neighbouring property. This can often be achieved by setting the extension in from the nearest common boundary and through reducing the bulk of the extension by, for example, providing a hipped roof.

Windows in the side of the extension nearest to the boundary of a neighbouring property should generally be avoided. Obscurely glazed windows with restricted opening may sometimes be acceptable but it should be noted that, if your neighbour subsequently wishes to develop near their boundary, the outlook that you may have created by placing a window on a common boundary will not be protected.

Terraced houses are often more difficult to extend as they are restricted for space on three sides. By sharing a pitched roof with the neighbouring property, the perceived size may be reduced and the impact on light and amenity will be lessened.

3.6 Balconies, Raised Decking and Terraces

Balconies, Raised Decking and Terraces may not be acceptable if there is significant overlooking of a neighbouring garden/yard or a main living room window. They can also lead to an increase in noise and disturbance as a result of the extended use of the garden area, therefore they can have a significant impact on the privacy and amenity of neighbouring properties. As a result, balconies, are not encouraged, other than in exceptional circumstances or situations where a Juliette balcony is in keeping with the design of the property or character of the area. For the purposes of planning, a Juliette balcony is treated as a window, and a velux balcony window is treated as a balcony.

Balconies and raised decking are more likely to be approved in relation to detached dwellings with spacious gardens or where the location of the development does not impact on the neighbours. They should generally be well contained, screened and avoid dominating the existing property.

3.7 Gardens & Boundary Treatments

Boundary Treatments

The method of enclosing the boundary of a property can have a significant visual impact on an area and should be designed sympathetically. Boundary treatments can include walls, fences, hedges, tree and gates amongst other things.

Where alterations to front garden boundaries occur, careful consideration must be taken to ensure that the proposed materials and detailing fit in well with the property and surroundings. Where there is a dominant form of boundary treatment within the street, your proposal will be expected to be consistent with these structures. In addition, where hedgerows and trees are important features of an area, these should be retained to maintain

character and biodiversity. Planning permission is not required to plant hedgerows or trees and they can be a good way to create a boundary instead of erecting a wall or fence.

It is also important to consider the height and materials proposed for boundary treatments along the side of the property and within rear gardens to ensure that the height and material choice do not impact on the amenity of the neighbouring properties.

Alterations to boundary treatments to the front of properties or in prominent locations within established open-plan estates will rarely be acceptable as they could disrupt the open character of the street and harm the visual amenity of the area. Likewise, any enclosure that would obstruct public highway visibility, or cause a potential danger to public highway safety will be unacceptable.

Material Planning Considerations

17. The main planning considerations of this application are the impacts on the character of the area, the amenity of the neighbouring occupiers and the impacts on highway safety.

Character

18. The NPPF and the adopted Local Plan encourage high standards of design with Local Plan Policies SD3 and SD8 setting out that new developments should be appropriate to the context of the surrounding area and be of an appropriate style, proportion, and materials to the main dwelling.

19. Concerns have been raised with regards to the design and appearance of the proposed extensions and how the proposal would fit in with the character of the surrounding dwellings. The proposed development involves substantial extensions and alterations to the host dwelling, which in-turn would alter the scale and appearance of the host dwelling.

20. Revisions to the originally submitted plans have been sought and have been scaled back considerably; the original proposal involved a two-storey dwelling with a much larger footprint to the most recent plans received which now involve raising the ridge height approximately 1.2 metres above the existing ridge line. Although the scale and appearance of the host dwelling would be altered, the proposed development would still appear as a 1.5 storey dwelling which is considered to be coherent with the present built form on the Site, and in the surrounding area.

21. The character of the host dwelling as proposed would alter the existing dormer bungalow to create an enlarged first-floor with various single storey extensions projecting from it, the proposed works are considered to form considerable alterations to the host dwelling's scale and appearance, however, given the variety of property styles within the area and size of the plot, the proposals are not considered to form an incongruous addition to the area. Concerns raised with regards to dwelling to plot ratio and overdevelopment of the Site are noted, however, the Site is considered to be generously proportioned and the proposals are considered to be proportionate to the size of the plot and other development within the surrounding area.

22. The proposal would modernise the existing dwelling which on balance would be acceptable given the variety of property styles and design within this area. The principle of a second floor is also considered to be acceptable due to the existing dormer windows and variety of dwelling types generally reaching first-floor levels within the street scene. Given the overarching character is one of a 1.5 storey dwelling, and the indistinct character in terms of the design of dwellings within the area, the revised proposals are considered to be broadly acceptable.
23. Although it is noted that the bulk of the host dwelling would increase as a result of implementing the proposed development, the Site is accessed via a private way and the Site and surroundings are heavily screened by mature trees and vegetation. Given the generous proportions of the plot, accessed via a private way and is heavily screened, there is considered to be considerable scope for change to the host dwelling which are mitigated by the surroundings. As already discussed, the principle of a first floor is considered permissible, and the roof style is again considered to follow the character of the host dwelling and street scene and so this roof style is considered appropriate. While the overall bulk of the host dwelling would increase, it is not considered to appear as an incongruous addition to the immediate or wider area.
24. The proposed external finishing materials to be used have been declared within the submitted application form and are to be similar in appearance to those existing on the host dwelling being render, slate tiles and white uPVC. Given that these are similar external finishing materials to those existing on the host dwelling, and the mitigating circumstances of the Site and its surroundings, it is considered that the external finishing materials proposed are acceptable and have been recommended as planning condition.
25. The Applicant proposed a 1.8-metre-high close boarded boundary fencing to the front of the Site. In view of this boundary treatment being set well in from the highway and sat behind a band of mature trees, it is not considered that this would form an incongruous addition to the Site and is considered to be acceptable in this instance.
26. In view of the above considerations the proposed extensions accord with policies SD3 and SD8 of the Local Plan and paragraph 135 of the NPPF, and is therefore considered to be acceptable with respect to the impact on the character of the area and the character of the host dwelling.

Protected Trees

27. There are several trees which are protected via a Tree Preservation Order around the Site. Concerns were raised with the Applicant's agent regarding the proximity of a proposed single storey rear extension to a band of protected trees to the northern rear boundary of the Site. In order to address these concerns, the siting of the rear extension has been amended so that an acceptable separation distance between the trees and the proposed development has been established. The Applicant's agent has provided a tree protection plan which has been recommended as a condition.

Amenity

28. Planning Policy SD8 seeks to provide sufficient levels of privacy and amenity for all existing and future occupiers of land and buildings, while the Householder Extensions and Alterations SPD provides further support over the impacts of extensions on neighbouring occupiers.

29. Concerns have been raised by neighbouring occupiers regarding the impact on their amenity as a result of the proposed development; principally concerns were raised regarding overlooking, loss of privacy and overbearing impacts. Each of these concerns are addressed below.

No.1 The Willows

30. The closest neighbouring residential dwelling to the host dwelling is No.1 The Willows, which is sited approximately 16 metres due south-west from the host dwelling and set at a lower level due to the topography in the area. Whilst the host dwelling would be increasing in height, it is not considered that an increase in 1.2 metres would have a detrimental impact on this neighbouring occupier's amenity owing to the separation distance of 16 metres, the mature trees screening the Site and the siting of the host dwelling and neighbouring dwelling with respect to the movements of the sun. It is therefore not considered that a 1.2 metre increase in height over and above the original height of the host dwelling would be considered detrimental in terms of being an overbearing or overshadowing presence for these neighbouring occupiers.

31. In terms of overlooking, it is conceded that a 16-metre separation distance would fall short of the 21-metre separation distance guidance with respect to facing habitable room windows, especially when considering there are considerable level changes between the sites and the addition of an enlarged first floor.

32. The Applicant and their Agent have therefore sought to address this issue with respect to the overlooking caused by the originally submitted plans, and have since removed first floor bedroom windows which previously were facing the neighbouring dwelling's habitable room windows, due to guidance stipulating at least a 27 metre separation distance between the two should be maintained; owing to the topography and addition of a first floor to the dwelling.

33. The proposals have now been revised so that whilst there are windows present at first floor facing No.1 The Willows, these now consist of a rooflight serving an en-suite and a further en-suite window which is proposed to be obscurely glazed. Further to this, there is existing overlooking between habitable room windows; 1no bedroom window within the first floor of the host dwelling and the facing habitable room windows at No.1, at a separation distance of approximately 18 metres, which is a considerable existing shortfall in window-to-window separation distance when assessed against the householder extensions and alterations SPD. In view of the existing overlooking between the Sites, the revisions to the proposals addressing the overlooking and the screening around the Site, it is considered that the proposed development is considered to be acceptable with respect to overlooking.

34. To the ground floor principal elevation, bi-fold door would be inserted to the proposed single storey extension. The Applicant has proposed a 1.8-metre-high close boarded concrete and timber post fence which is considered to mitigate any overlooking of No.1 The Willows between habitable room windows at ground floor level. This boundary treatment has therefore been recommended as a condition.

No.4 The Willows

35. To the east is No.4 The Willows. Whilst concerns regarding increased overbearing, overlooking and privacy are noted, the host dwelling at its closest point is sited approximately 28 metres away from this neighbouring dwelling and are angled approximately 45-degrees from one another. The Site is also bound by mature trees and fencing to this boundary. Whilst views onto the proposed development would be achievable from this neighbouring dwelling, it is not considered that undue amenity impacts would occur given the separation distances involved.
36. Concerns have been raised with regards to the potential for the flat roof of the single storey rear extension to be used as a terrace. Whilst the use of the flat roof as a formalised terrace area is not included on the plans, it is acknowledged that the master bedroom has double doors at first floor which could lead out onto the flat roof extension. Whilst the plans stipulate that this would be a Juliet balcony, should the flat roof be used as a terrace, direct views into No.4 The Willows in the east and No.1 Park View could be achieved. Therefore, a condition has been recommended so that the flat roof of the single storey rear extension is not to be used as a raised terrace/balcony.

No.3 The Willows

37. To the south-east of the host dwelling is No.3 The Willows. There would be an approximate separation distance of 23 metres between the dwellings, the Sites are screened by a band of mature tree cover and the proposed 1.8-metre-high boundary treatment, and there would be no facing habitable room windows. Given the above mitigating factors, it is not considered that the proposed development would give rise to adverse amenity impacts for this neighbouring occupier.
38. In accordance with local plan policies SD3 and SD8, it is considered that the proposed works would not result in a significant overbearing or overshadowing impact or significant loss of privacy and therefore is considered acceptable.

Highway Safety

39. As a result of the proposed development, the host dwelling would become a 5no bedroom dwelling. In accordance with SPD3 parking provision, the Site would require 4no in-curtilage parking spaces. In accordance with the submitted details, there would be 2no spaces within the proposed garage and the existing driveway is large enough to accommodate the further 2no spaces required. There is therefore not considered to be any highway safety related implications arising from the implementation of the proposed development and is therefore considered to be acceptable.

Other Matters

40. As advised by Natural England, householder extensions are unlikely to increase population and are therefore outside of the scope for Nutrient Neutrality.
41. In terms of this application, no accompanying protected species surveys have been submitted to consider impact on bats. That said, the property is of modern construction with sealed soffits and appears to be generally low risk for bat presence. An informative could be applied to consider any residual impact in this regard.

Residual Matters

42. Concerns have been raised regarding typographical errors on submitted drawings, access and damage to the private way during the construction period, waste and ASB and the security of the Site. These are not considered to be material planning considerations relevant to the determination of this application and have therefore not been considered.
43. With regards to localised flooding caused by the formation of a new driveway, the Applicant has not proposed to create a new driveway and therefore has not been considered as part of this application. Should a new driveway be created, permitted development rights are in place for Class F hardstanding within the curtilage which would require the Applicant to incorporate drainage within the curtilage for hardstanding over 5m² should any hardstanding be installed at a later date.

Conclusion

44. In view of the assessment above, it is considered that the proposed development would not result in any significant conflict with the policies contained within the Stockton on Tees Local Plan or the relevant chapters of the NPPF and there are no technical reasons why the proposed scheme would be deemed unacceptable.
45. In planning terms, the proposed development is considered acceptable in all other regards and is therefore recommended for approval subject to those planning conditions set out in the report.

Financial Implications

No known implications other than the associated costs of implementation of the proposals/maintenance.

Environmental Implications

No known environmental impacts other than those discussed within the main body of the report.

Biodiversity Net Gain

Biodiversity Net Gain is not required as Householder developments are exempt.

Legal Implications

Officers need to complete this based on specifics of case and any Legal implications on the Council.

Community Safety Implications

The provisions of Section 17 of the Crime and Disorder Act 1998 have been taken into account in the preparation of this report.

Human Rights Implications

The provisions of the European Convention of Human Rights 1950 have been taken into account in the preparation of this report.

Ward and War Councillors

Ward	Bishopsgarth & Elm Tree
Ward Councillor	Councillor Hugo Stratton
Ward Councillor	Councillor Emily Tate

Background Papers

National Planning Policy Framework
National Planning Practice Guidance
Stockton on Tees Local Plan Adopted 2019
Householder Extensions and Alterations SPD Adopted 2021

Name of Contact Officer: Joe Port

Post Title: Planning Officer

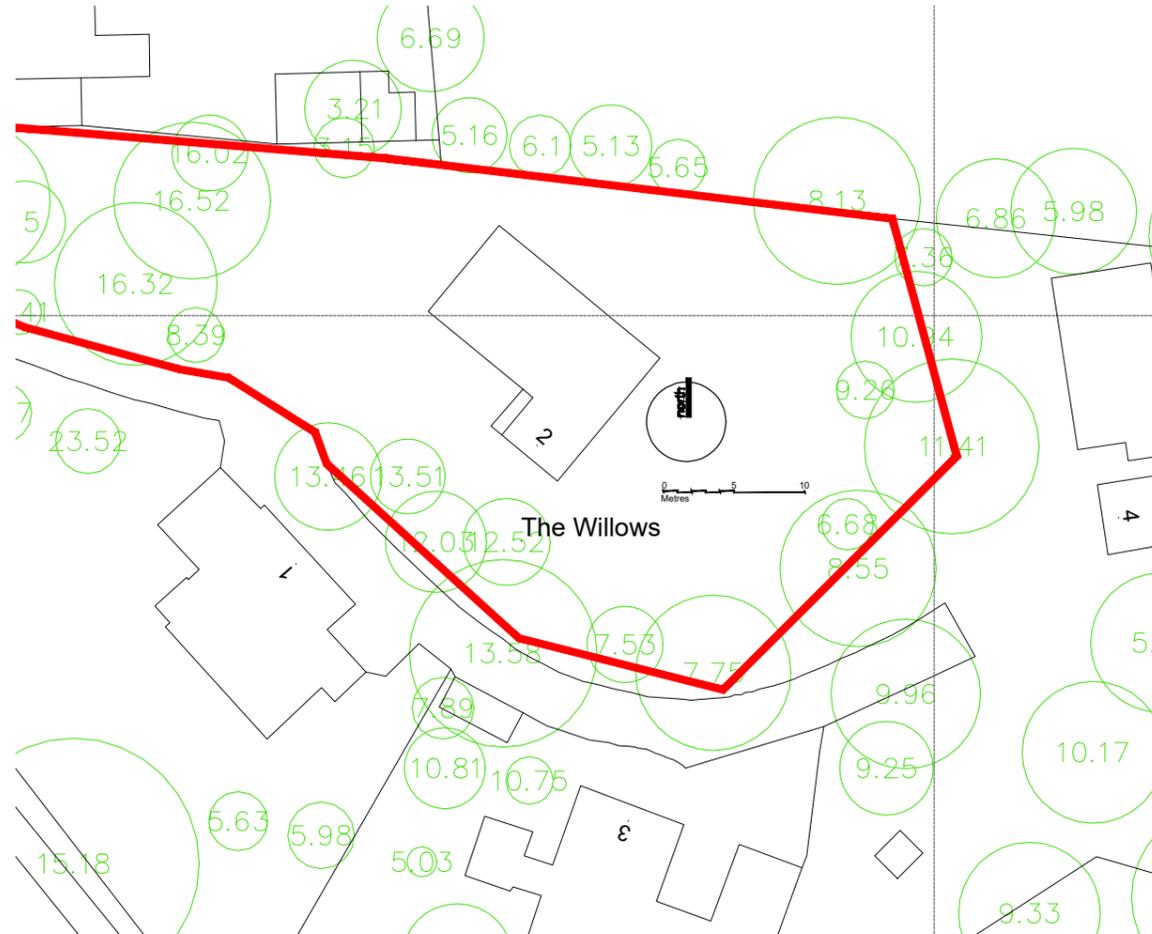
Telephone number: 01642 524362

Email Address: joe.port@stockton.gov.uk

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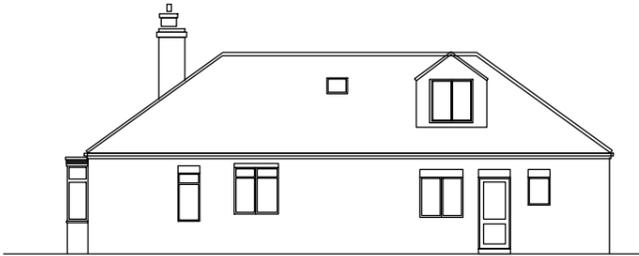
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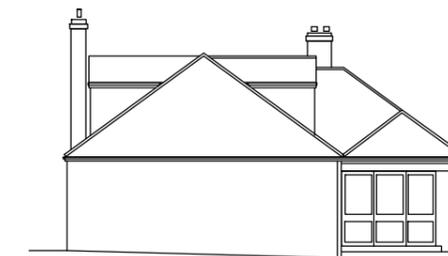
EXISTING SOUTH ELEVATION



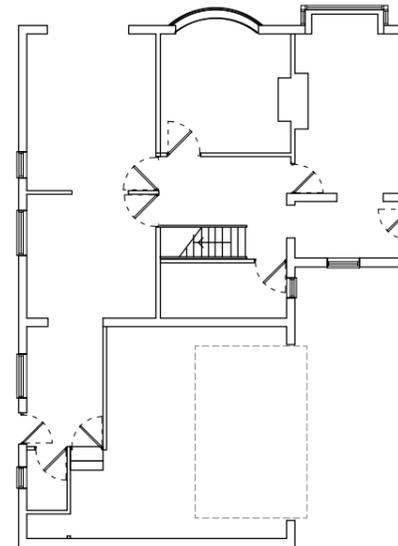
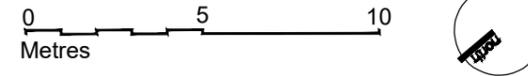
EXISTING EAST ELEVATION



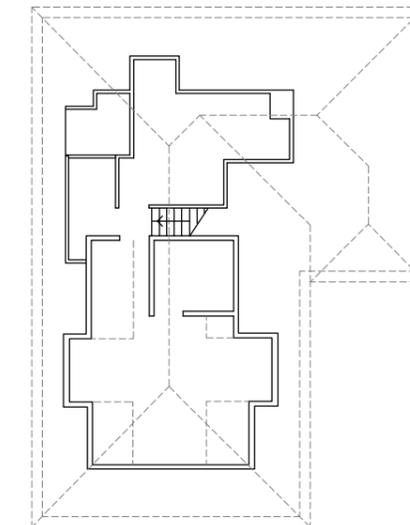
EXISTING NORTH ELEVATION



EXISTING WEST ELEVATION



EXISTING GROUND FLOOR PLAN



EXISTING FIRST FLOOR PLAN

EXISTING PLANS & ELEVATIONS -
SCALE : 1:100@A1 1:200@A3

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B	01-05-25	NORTH POINT ADDED
A	30-04-25	INFO UPDATED
REV	DATE	DETAILS

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CLIENT:
4000-25

PROJECT:
2 WILLOWS
STOCKTON-ON-TEES

DRAWING TITLE:
EXISTING DETAILS

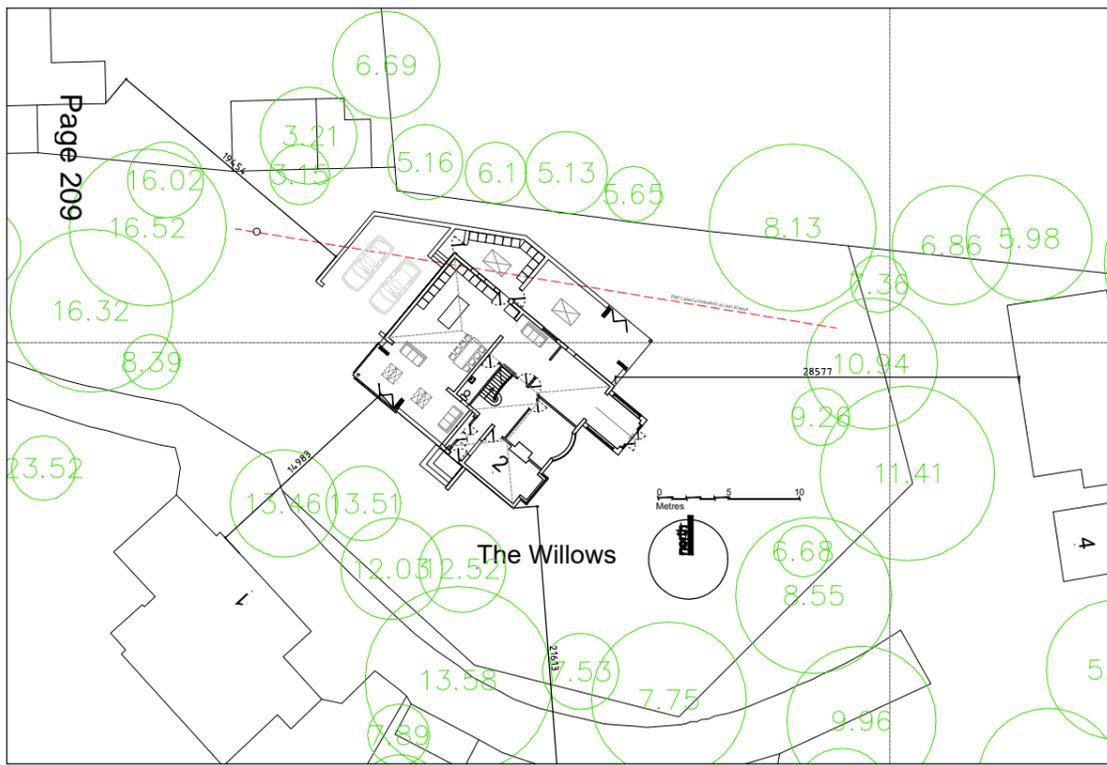
PURPOSE OF ISSUE: **PLANNING**

SCALE: AS NOTED

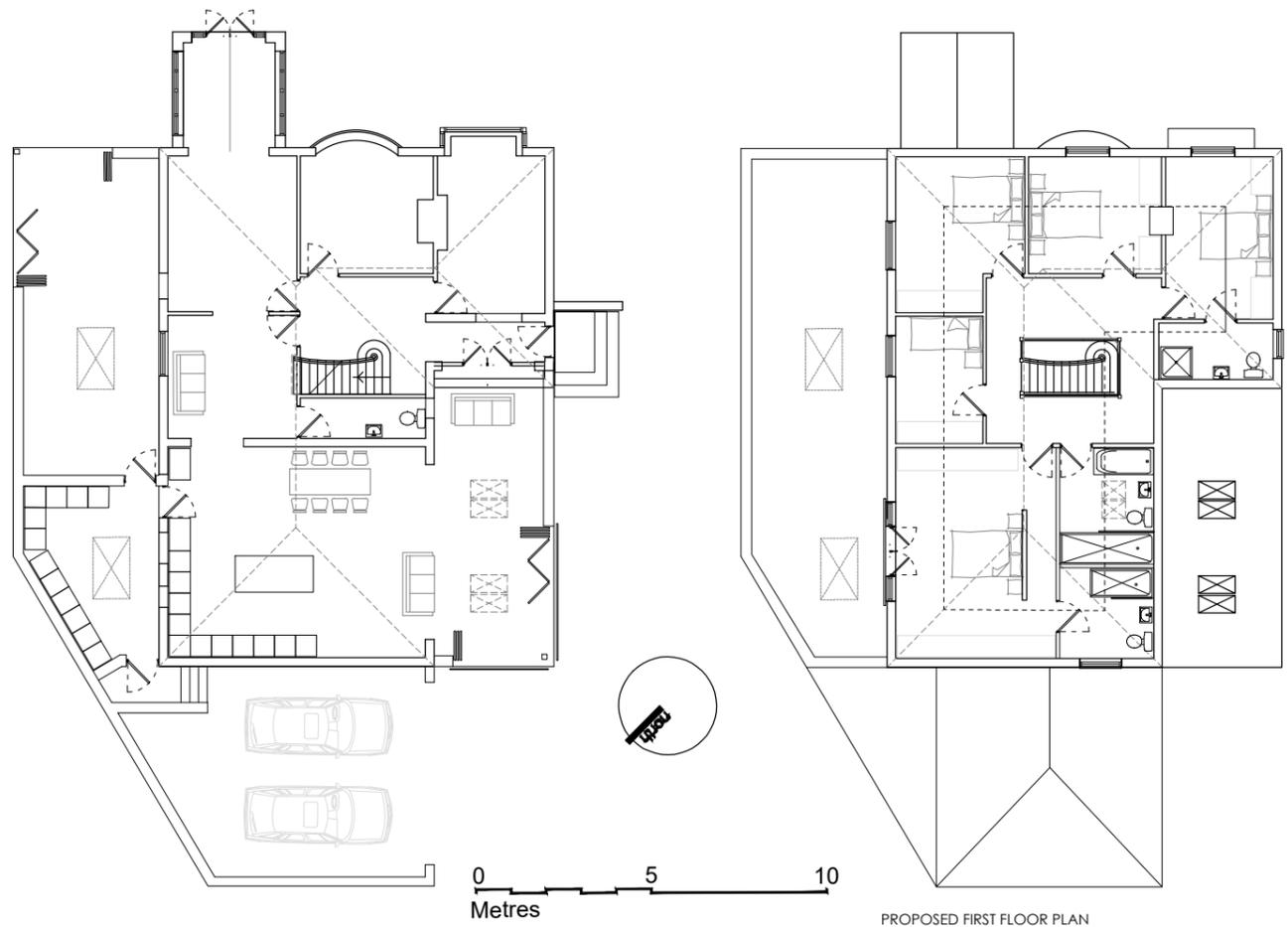
DATE: APR 25 DRAWN: sjd

DRAWING NO: 4000-25-100 **B**

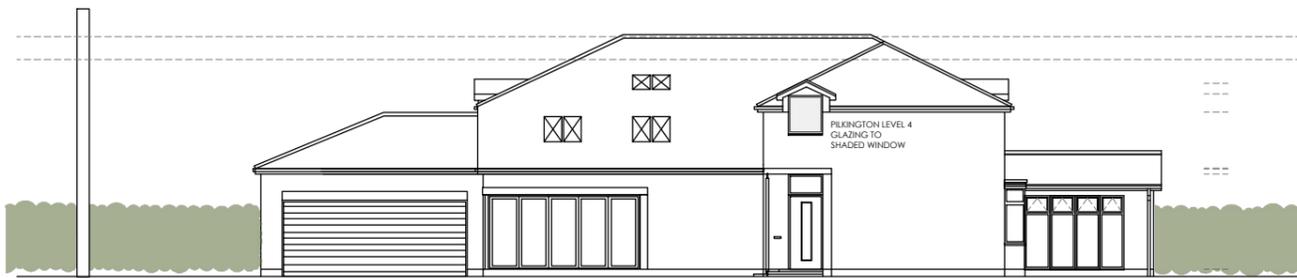
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PROPOSED BLOCK PLAN - SCALE : 1:250@A1 1:500@A3



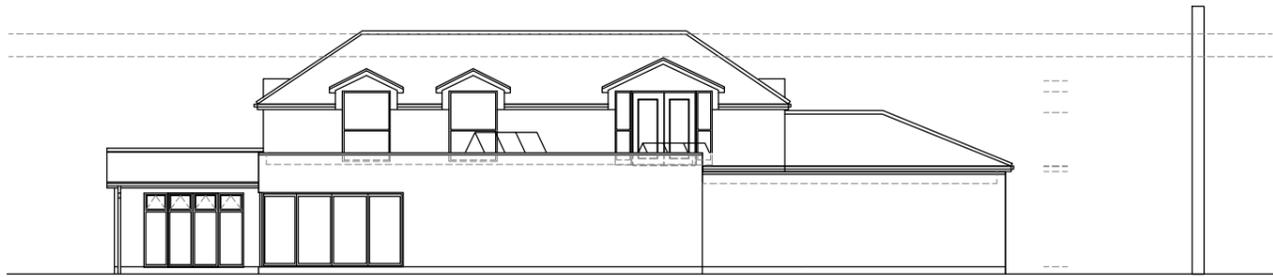
PROPOSED FLOOR PLANS - SCALE : 1:100@A1 1:200@A3



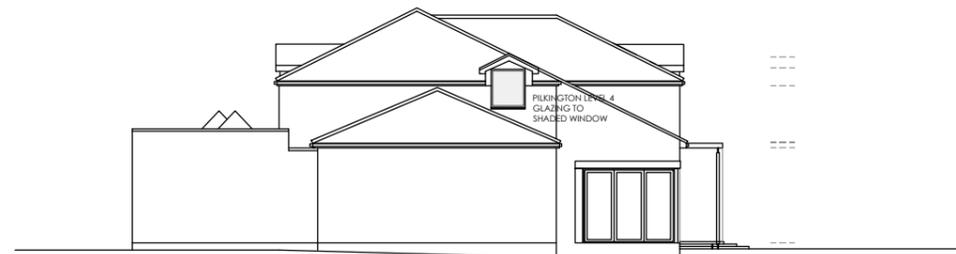
PROPOSED SOUTH ELEVATION



PROPOSED EAST ELEVATION



PROPOSED SOUTH ELEVATION



PROPOSED WEST ELEVATION

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PROPOSED ELEVATIONS PLANS - SCALE : 1:100@A1 1:200@A3

REV	DATE	DETAILS
E	16-10-25	PLAN & ELEVATIONS UPDATED
D	01-07-25	PLAN & ELEVATIONS UPDATED
C	23-06-25	EAVES & ROOF HEIGHT REDUCED
B	01-05-25	NORTH POINT ADDED
A	30-04-25	INFO UPDATED

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CLIENT :
4000-25

PROJECT :
2 WILLOWS
STOCKTON-ON-TEES

DRAWING TITLE :
PROPOSED DETAILS

PURPOSE OF ISSUE :

PLANNING

SCALE : AS NOTED

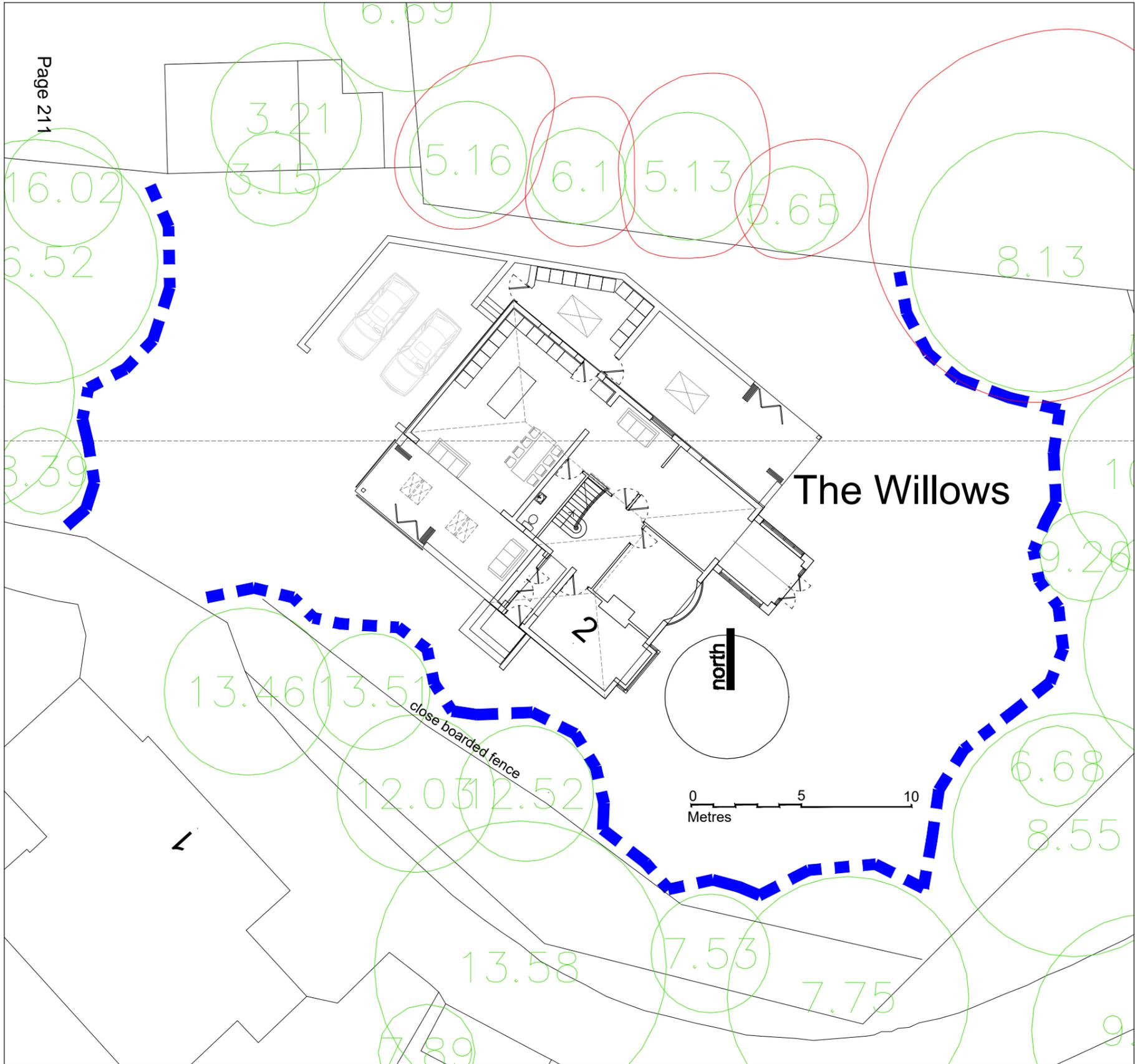
DATE : APR 25

DRAWN : sjd

DRAWING NO: 4000-25 - 101

E

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SCALE : 1:100@A1 1:200@A3

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1800MM HIGH CLOSE BOARDED CONCRETE POST AND TIMBER FENCE

Protected Status Of Trees
Trees may be legally protected, this may either be in the form of a Tree Preservation Order (TPO) or that the trees are located within a Conservation area. In addition some tree felling may require a felling licence from the Forestry Commission. Potentially large penalties may be enforced for illegally carrying out works on protected trees. It is recommended that checks are made before any works are undertaken and no work should commence until permission has been granted. Please note that there are a number of exemptions from the requirement to obtain a felling licence including land on which full planning permission has been granted by the local authority, however the exemption does not cover land where only outline planning permission has been granted, or on land which has been allocated for residential development within local authority urban and local development plans.

Arboriculture
The first arboricultural works on site will be the removal of all the conflicting trees which are identified on the Tree Protection Plan (TPP) by the broken black ring surrounding the tree centre and referred to in appendix 1 of this report. It may be appropriate to remove trees 1 and 12 at this time although this is not essential to facilitate the development and is for arboricultural management purposes.

Stump Removal
The stumps may either be ground out using a stump grinding machine or removed as part of the ground excavation works.

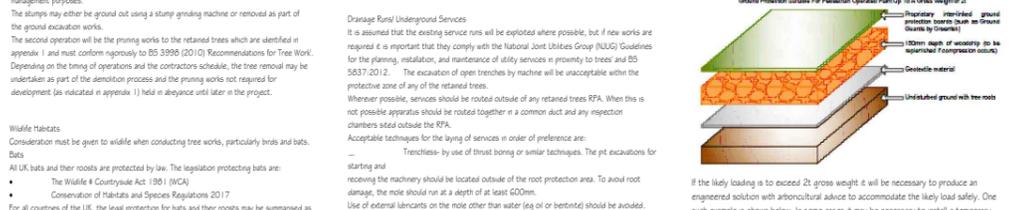
Tree Protection
The second operation will be the pruning works to the retained trees which are identified in appendix 1 and must conform to BS 3998 (2010) Recommendations for Tree Work. Depending on the timing of operations and the contractors schedule, the tree removal may be undertaken as part of the demolition process and the pruning works not required for development (as indicated in appendix 1) held in abeyance until later in the project.

Wildlife Habitats
Consideration must be given to wildlife when conducting tree works, particularly birds and bats. Bats: All UK bats and their roosts are protected by law. The legislation protecting bats are:
• The Wildlife & Countryside Act (1981) (WCA)
• Conservation of Habitats and Species Regulations 2017
For all countries of the UK, the legal protection for bats and their roosts may be summarised as follows:
It is a criminal offence to carry out the following:
1. Deliberately capture, injure or kill a bat
2. Intentionally or recklessly disturb a bat in its roost or deliberately disturb a group of bats
3. Damage or destroy a bat roosting place (even if bats are not occupying the roost at the time)
4. Possess or advertise/offer/transfer a bat (dead or alive) or any part of a bat
5. Intentionally or recklessly obstruct access to a bat roost
In a court, 'deliberately' will probably be interpreted as someone who, although not intending to capture/injure or kill a bat, performed the relevant action, being sufficiently informed and aware of the consequence of their action will most likely have.)
Penalties on conviction – the maximum fine is £5000 per incident or per bat (some roosts contain several hundred bats), or six months in prison, and forfeiture of items used to commit the offence, e.g. vehicles, plant, machinery.
No visual signs were found to indicate the presence of bats in the surveyed trees.
When carrying out tree works it is essential that the contractor or other competent person carries out a specific bats in trees risk assessment which can be obtained from the 'Arboriculture Association' or the 'Bat Conservation Trust' (BCT). If evidence of bats is found work must stop immediately and Natural England Batwise Guidance (2015) (3000 228). A further inspection may be required by a licensed bat handler or roost visitor.
Bats: In the UK, all wild birds, their nests and their eggs are protected by law. The Wildlife and Countryside Act (1981) The Wildlife and Countryside Act (1981) The Countryside (for CROW) Act 2000
No nesting birds were present at the time of inspection though signs of past nesting activity were evident and as such caution must be exercised.
As with bats the contractor has an obligation to carry out visual checks prior to works. Where possible tree works should be carried out in the period from August to the end of February in order to avoid the bird nesting season.

Protective Barrier Erection
Customary protective barriers would be positioned to protect all of the retained trees, however in this instance the southern boundary fence can be used in lieu of a protective barrier. The protective barriers are to be erected prior to the commencement of site works including demolition, soil stripping or movement, bringing onto site of materials, supplies or machinery. Tree works can be undertaken prior to the erection of the barriers. The barriers must be erected in the position indicated on the Tree Protection Plan (TPP) by the dark blue line and be constructed as per the following specification:
The barriers should be considered essential and should not be removed or altered without prior recommendation by an Arboriculturalist and approval of the local planning authority. The barrier should consist of a vertical and horizontal framework of scaffold tubing which is adequately braced to resist impacts. The vertical scaffold tubes need to be placed at a distance not exceeding 3m apart. The welmesh or Heras panels need to be 2.3m tall and are securely attached to the scaffold framework with wire or scaffold clamps. The wire or scaffold clamps should be secured on the inside of the barrier to avoid any snagging. Panels on rubber or concrete feet and are not resistant to impact and should not be used.
No fencing shall be made to any tree and all possible care must be taken to prevent damage to tree roots when locating the posts.
All types of barriers must be firmly attached to prevent movement by site personnel or vehicles and all weather signs with the warning 'Construction exclusion zone - keep out' should be attached.

Ground Protection Areas & Erection Of Scaffolding Within The Tree Root Protection Areas
In some cases it will be necessary to provide pedestrian access within the root protection area of the trees, or to create space for scaffolding and working areas. To prevent damage occurring to the trees, the following technique should be observed. The areas requiring this protection are marked in hatched orange on the tree protection plan.
The following diagrams visualise the layout requirements. By sufficiently protecting the route of the trees, the pedestrian access or scaffolding and associated working areas can be placed within the root protection area. There is no limitation as to the size of the ground protection area, but we would advise that it is at least 0.5m from the trunk of any tree.
A summary of the requirements for the laying of services in order of preference are detailed below:
• Protective barriers should be erected onto a framework of scaffolding (as per the fencing diagram in section 5.1) to comply with the recommendations of BS 5837.
• The barrier is erected prior to the commencement of work at a suitable distance from the building to allow for the erection of the main scaffolding.
• A porous geotextile fabric should be laid onto the undisturbed ground surface and a layer of sand or compressible material such as woodchip applied to level the area.
• Boards should be laid onto the sand to protect the rootplate. Scaffold boards are usually adequate for pedestrian loads.
• The boarding must remain until building works are completed.

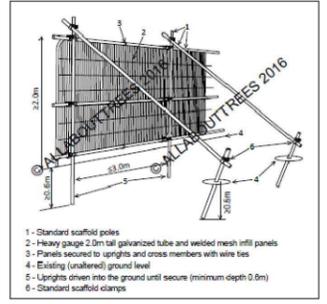
Drainage Runs/Underground Services
It is assumed that the existing services will be exploited where possible, but if new works are required it is important that they comply with the National Joint Utilities Group (NJUG) Guidelines for the planning, installation, and maintenance of utility services in proximity to trees and BS 5837:2012. The excavation of open trenches by machine will be unacceptable within the protective zone of any of the retained trees.
Wherever possible, services should be routed outside of any retained trees RPA. When this is not possible apparatus should be routed together in a common duct and any inspection chambers sited outside the RPA.
Acceptable techniques for the laying of services in order of preference are:
• Trenchless by use of thrust boring or similar techniques. The pit excavators for starting and receiving the machinery should be located outside of the root protection area. To avoid root damage, the mole should run at a depth of at least 600mm.
Use of external lubricants on the mole other than water (eg oil or bitumen) should be avoided.



Method	Accuracy (MM)	Typical Depth (mm)	Typical Substratum Length (m)	Applications	Notes for Use
Microwelding	<50	100 to 300	<4	Gravelly fill pipes, deep excavations, watermain, manholes, other structures	Low-cost projects due to relative expense
Surface mounted trenchless drilling	<100	25 to 1000	100	Pressure pipes, cables, conduits, fire pipes	Gravelly fill pipes, e.g. drains and sewers (S)
Pipe ramming	<100	100 to 2000	70	Any pipe size, pipes and ducts	Only for small diameter pipes
Impact boring (IB)	<100 (IB)	30 to 100	<4	Gas, water and cable connections, fire mains, fire alarm, etc.	Any application that requires the minimum excavation distance in terms of RPA

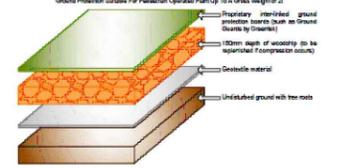
- Dependent upon strata encountered
- Pre-laminated directional jacking can be used for gravelly fill pipes up to 20m in subterranean length
- Impact boring (also known as thrust-bore) generally requires soft, cohesive soils.
- Substantial inverse relationship between accuracy and distance
- Figures given relate to single passes up to 300mm bore achievable with multiple passes
- If trenchless operation is not feasible the alternatives are detailed below in order of preference.
- Broken trenches by using hand dug trench sections together with trenchless techniques. It should be limited to practical access and installation outside or below the roots. The trench must be dug by hand (see following comments re continuous trenching) and only long enough to allow access for linking to the next section. The open sections should be kept as short as possible.
- Continuous trench: the trench is excavated by hand and retains as many roots as possible. The surface layer is removed carefully and hand digging of the trench takes place. No roots over 2.5cm diameter or clumps of smaller roots (including fibrous) should be severed. The bark surrounding the roots must be maintained. Cutting of roots over 2.5cm diameter should not be attempted without the advice of a qualified Arboriculturalist.
- If roots have to be cut, a sharp tool (defined as spade, narrow spade, fork, breaker bar, scissor, hand saw, post hole shovel, hand trowel) should be used.
- Backfilling: Reinforcement of street works must comply with the code of practice for Roads and Streetworks Act 1991 (Specification for the reinstatement of openings in highways), but where tree roots are involved backfilling should be carefully carried out to avoid direct damage to retained roots and excessive compaction of the soil around them. The backfill should incorporate an anti-granular material mixed with top soil or sharp sand (not builders sand) around the retained roots. This will allow a measure of compaction for resurfacing whilst creating an aerated zone around the roots. Roots and in particular fine roots, are vulnerable to desiccation on exposure to air. The roots are at greatest risk when there are rapid fluctuations in the air temperature around them (especially winter diurnal temperatures). It is vitally important that the roots are covered with sacking whilst the trench is open. The sacking should be removed once the trench is backfilled.
- Arboricultural Supervision: The following programme of supervision is proposed to assist in the presentation and protection of the retained trees during all aspects of the proposed development. The supervision arrangements must be sufficiently flexible to allow for the supervision of all sensitive works as they occur. The Arboricultural Consultant's initial role is to liaise with the developer and the council to ensure that the appropriate protective measures are in place before any works commence on site and once the site is active monitor compliance with the Arboricultural conditions and advise on any tree problems that may arise.
- Site Management: It is the developer's responsibility to ensure that the details of the Arboricultural method statement and any agreed amendments are known and understood by all relevant site personnel. Copies of the agreed documents must be kept on site at all times and the site manager or other appropriate person must brief all personnel who could impact the trees on the specific tree protection requirements. This should form part of the site induction procedure and be written into the appropriate site management documents.

Location of Site Compound & Storage Areas
The contractor's site compound, storage & parking areas must be located outside of the root protection areas (RPA) of the retained trees.
All site storage areas, especially cement mixing and washing points for plant and vehicles must also be situated outside of the root protection areas (RPA). Where there is a possible risk of polluted water runoff heavy duty plastic sheeting and sand bags must be used to contain spillages and contamination.
Demolition: The demolition work near the trees must be undertaken with great care with every effort made to avoid damage to aerial and underground portions of the tree. Roots frequently grow adjacent to, and underneath structures and surfacing and damage can occur when the roots are physically disturbed or the soil around them is compacted from the weight of machinery or material.
When demolishing structures near to trees the machine should ideally break the walls and roof into the footprint of the building floor above (pullback methodology) and avoid any debris falling into the root protection area.
If this is not possible the section of the building adjacent to the tree will need to be demolished by hand.
Existing surfacing should be carefully lifted using either a long reach machine positioned outside of the root protection area or manually using hand tools. Surfacing is broadly defined as any hard surfacing used for vehicular access, parking or pedestrian pathways. Including tarmac, crushed stone, solid stone, compacted aggregate, concrete and timber decking, but excluding compacted soil with no hard covering.
In summary:
• Machines with long reach may be positioned outside of the root protection area (RPA) and used to demolish the building or carefully remove debris providing this does not disturb the RPA or the aerial portion of the tree
• Appropriate hand tools for manual removing debris include pneumatic or powered breaker, sledgehammer, crow or prying bar, pick, nutcracker, spade, shovel, trowel, fork or wheelbarrow. Scissors and hand saw should be available to cut any exposed roots. The debris must be moved across existing hard surfacing or temporary ground protection thereby avoiding compaction of the soil.
• If appropriate the below ground structures should be left in place if their removal was to cause excessive root disturbance.



- ROOT PROTECTION AREA/ZONE
- TREE TO BE REMOVED AND TREE REFERENCE NUMBER
- PROVISION OF PROTECTIVE BARRIER

Temporary ground protection should be tailored to the likely load it will be subjected to. The following diagrams indicate the acceptable techniques for:
• Pedestrian
• Plant and vehicle access up to 2 tons gross weight
• Plant and vehicle access up to 2 tons gross weight



If the likely loading is to exceed 2t gross weight it will be necessary to produce an engineered solution with arboricultural advice to accommodate the likely load safely. One such example is shown below. In some cases it may be necessary to install a temporary road using a 3D cellular confinement system (such as Cellform by Geosynthetics Ltd), cause excessive root disturbance.



- 1) 100mm of 10mm or 12.5mm thick silica
- 2) 200mm x 50mm timber slats
- 3) Geotextile membrane
- 4) Base layer of crushed blende by GOMENIK
- 5) Wood chipping or other compressible material
- 6) 100mm concrete counterplate

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• If appropriate the below ground structures should be left in place if their removal was to cause excessive root disturbance.

REV	DATE	DETAILS
C	16-10-25	FLOOR PLAN UPDATED
B	25-09-25	ROOT ZONES AND BOUNDARY FENCE ADDED
A	25-09-25	ROOT ZONES AND BOUNDARY FENCE ADDED

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CLIENT : 4000-25
PROJECT : 2 WILLOWS STOCKTON-ON-TEES
DRAWING TITLE : TREE PROTECTION DETAILS
PURPOSE OF ISSUE : PLANNING
SCALE : AS NOTED
DATE : APR 25
DRAWN : sjd
DRAWING NO: 4000-25-102

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Appeal Decision

Site visit made on 2 December 2025

by **A.Graham BA(hons) MAued IHBC**

an Inspector appointed by the Secretary of State

Decision date: 16 December 2025

Appeal Ref: APP/H0738/D/25/3374842

1 Butterfield Drive, Eaglescliffe, Stockton on Tees TS16 0EL

- The appeal is made under section 78 of the Town and Country Planning Act 1990 against a refusal to grant outline planning permission.
 - The appeal is made by Ms Thanh Hoai Le against the decision of Stockton on Tees Borough Council.
 - The application Ref is 25/1162/FUL.
 - The application is for erection for 1.8m high fence to the side.
-

Decision

1. The appeal is dismissed.

Procedural Matter

2. The description as used by the Council differs from that used on the appellant's original application form. As such I have used this description as it better reflects the proposed changes before me.

Main Issue

3. The main issue is the effect of the proposal upon the character and appearance of the area.

Reasons

4. The appeal property is a detached suburban style bungalow within this residential area of similarly aged properties. The existing building is of red brick and render and occupies a prominent corner plot on approach into the wider residential estate from an area of retail nearby. It appears that recent modifications have been undertaken to create a run of bi-fold type doors to the side elevation that fronts onto the side corner garden. To the rear there is a high plastic type fence and shed and to the front of the property there is an area of extensive hardstanding for the accommodation of up to around four vehicles.
5. The current boundary of the property sports a low brick wall that runs around much of the side garden. Behind this has been planted a row of Laurel type hedging. The proposal before me seeks permission to extend a close boarded timber fence around this side boundary that would run behind the hedge and extend up to around 1.8m in height. The justification for this is to improve security and presumably privacy of the side living area bi-fold windows.
6. In assessing this appeal, I am aware of the Council's policy SD8 of the Stockton on Tees Borough Council Local Plan 2019 (LP) that seeks to ensure new development

is of the highest possible standard and that takes into consideration the context of the surrounding area and the need to respond in a positive manner to the character of an area. In this respect it reflects the National Planning Policy Framework (The Framework) in emphasising the importance of good urban design.

7. As mentioned above this area is of a largely suburban character which typically manifests itself as open plan front and side gardens with properties set well within such spaces. Although there has been some erosion of gardens and although the more commercial area around the shops is of a different character to this site, nevertheless these characteristics are important to preserve or, where possible, to enhance.
8. The site is visible on arrival from the main road and the nearby shops, and in this respect it is typical for such a corner plot with its garden and side elevation being somewhat exposed. I would not expect privacy to generally be an issue to such properties as only secondary windows face onto such a space ordinarily. In this case however the side garden is obviously more in use as a private space thereby making the need for privacy more important.
9. The intention appears to be to allow a laurel hedge to grow around this garden. In the meantime, however, in order to secure the plot and give immediate privacy, the appellant's wish to construct a higher timber fence behind the hedge. The issue here is that such a fence would introduce a much higher and harder boundary to this prominent corner even with the hedge before it. It would, moreover, not take into account the potential loss of hedging in certain areas as time went on which would leave the fence exposed.
10. As such, despite the hedging and set back from the boundary I consider it highly likely that the fence would be visible for some considerable time and as such a harmful enclosure, that goes against the character of the area, would occur. This would therefore result in an enclosure of the street here upon this prominent corner that would be inconsistent with the overriding character of the area.
11. Ultimately, although there are ways to enhance and secure this boundary, perhaps through an extended brick wall with hedge above, the proposal before would not be of a high enough quality to respect the character and appearance of the area and it would represent a hard form of enclosure that would be alien in this context.
12. As a result, the proposal would cause harm to the character and appearance of the area and the proposal before me would be in conflict with Policy SD8 and SD3 of the Local Plan as well as the aspiration for good design contained within the Framework.

Conclusion

13. The proposal would cause harm to the character and appearance of the area and, for the reasons given above, whilst taking into account all other matters raised, I must dismiss this appeal.

A Graham

INSPECTOR

Appeal Decision

Site visit made on 2 December 2025

by **Sarah Manchester BSc MSc PhD MEnvSc**

an Inspector appointed by the Secretary of State

Decision date: 23 January 2026

Appeal Ref: APP/H0738/W/24/3352732

Land at Wynyard Village, Easting (x) 440223 Northing (y) 526881

- The appeal is made under section 78 of the Town and Country Planning Act 1990 (as amended) against a refusal to grant planning permission.
- The appeal is made by Cameron Hall Developments Limited against the decision of Stockton-on-Tees Borough Council.
- The application Ref is 22/2579/FUL.
- The development proposed is full planning permission for the erection of 135 residential dwellings with associated landscaping and ancillary works.
- This decision supersedes that issued on 22 May 2025. That decision on the appeal was quashed by order of the High Court.

Decision

1. The appeal is allowed and planning permission is granted for full planning permission for the erection of 135 residential dwellings with associated landscaping and ancillary works at Land at Wynyard Village, Easting (x) 440223 Northing (y) 526881, in accordance with the terms of the application, Ref 22/2579/FUL, subject to the conditions in the attached schedule.

Preliminary Matters and Background

2. This appeal is a redetermination following the quashing of the previous appeal decision¹ by the High Court². That appeal decision considered two main issues, namely the effects of the proposal on the setting of a Grade II* listed park and garden and whether the proposal would represent overdevelopment of the site. The decision was quashed on the basis “*that the Inspector’s decision was inadequately reasoned such that it did not make it clear how (if at all) the Inspector had regard to “the Planning Practice Guidance (PPG) on the Historic Environment, a mandatory material consideration”*”³.
3. The previous appeal decision is however a material consideration, and I have had regard to it accordingly. Nevertheless, I have determined the appeal afresh, taking into account the comments of the parties that were made subsequent to the quashing of the previous decision. Amended plans have also been provided to the appeal, primarily making minor changes to the layout of plot 36 and providing further detail in relation to shelter belt planting along the Wynyard Park boundary. The Council and interested parties have been provided with the opportunity to comment on these plans through the appeal process. Consequently, I am satisfied that the interests of the Council and third parties would not be prejudiced by my taking the amended plans into account in my determination of this appeal.

¹ Dated 20 February 2025

² Sealed Consent Order dated 19 August 2025 and dated 30 June and 1 July by the parties

³ Paragraphs 6 and 7 of the Consent Order

Main Issues

4. Therefore, the main issues in the appeal are:
 - i) Whether the proposal would be an overdevelopment of the 'Wynyard Village Extension' masterplan, having particular regard to housing density, scale of development and supporting infrastructure; and
 - ii) The effect of the proposal on the setting of Wynyard Park Grade II* listed park and garden.

Reasons

Whether or not overdevelopment, having regard to the Wynyard masterplan

5. In January 2017, outline planning permission (ref 13/0342/EIS) was granted for the construction of up to 500 dwellings, a primary school including sports facilities and nursery, retail units (up to 500m²), a doctors' surgery, community facilities, access, associated landscaping, footpaths and open space. That scheme, referred to as the Wynyard Village Extension (WVE), includes the appeal site. The primary school was subject of a separate planning permission (ref 17/0526/FUL) and it is now complete and operational.
6. The Stockton-on-Tees Local Plan (the LP) was adopted in January 2019. LP Policy H1 details the Council's existing housing commitments and allocations, including approximately 500 dwellings at Land at Wynyard Village (the WVE). Policy SD3 sets out the Council's housing strategy, including the promotion of a major new residential development at Wynyard comprising general market housing and executive housing in a high quality environment. Therefore, the principle of residential development has already been established.
7. In order to guide future development of a sustainable settlement at Wynyard, the Council published the Wynyard Masterplan Strategic Framework and Delivery document in November 2019. This refers to the LP housing commitment and sets out the context and development principles for individual projects including in terms of infrastructure, with reference to education, green and community infrastructure; improvements to the highway network; and delivery of executive housing at Wynyard Village. However, it is not a rigid blueprint for development or design of the Wynyard settlement.
8. I understand that reserved matters applications relating to the 2017 outline permission have been granted and development has commenced. However, neither the appeal site nor the land to the north of it (referred to as the Phase 1 site) were ultimately required to deliver the 500 dwellings. In this regard, outline permission (ref 20/2048/OUT) (all matters except access reserved) was granted in December 2022 for residential development for up to 130 units and new local centre on the Phase 1 site. Reserved matters applications for the housing (ref 22/2561/REM) and local centre and associated landscaping (ref 24/0430/REM) were subsequently granted.
9. Consequently, the total number of dwellings permitted across the WVE area already exceeds the 500 approved in the 2017 outline permission. However, that outline application had originally sought consent for 650 dwellings and the evidence indicates that the reduction in the number of dwellings was in response to highway issues around capacity and not other planning matters. In this regard, National

Highways confirm the acceptability of the proposal subject to a planned improvement scheme to the A19(T)/A689 junction and a travel plan. Even so, the proposed 135 dwellings (phase 2 development) would represent a significant increase in the number of dwellings originally anticipated across in the WVE area.

10. Historically the Wynyard area comprised the Wynyard Hall estate, agricultural land and woodland. However, it has undergone significant development since the late 1980s. As of 2010, Wynyard Village comprised over 800 dwellings, primarily large detached executive dwellings in generous plots. The settlement sits in a relatively well wooded landscape, which contributes to a sense of enclosure and assimilates and softens the built environment.
11. The proposal would deliver mostly 4 and 5 bed dwellings, with only a small number of 2 and 3 bed units. The overall increase in the number of dwellings across the WVE would result in higher density development than originally approved by the 2017 outline permission. Even so, the proposed density of 9.6 dwellings per hectare would still be low density and therefore in keeping with the established character of Wynyard. Moreover, while the arrangement and spacing of dwellings and plot sizes would vary, the generally large plots and extensive areas of open space would be in keeping with development elsewhere in the area and broadly in keeping with the indicative masterplan layout.
12. The previous Inspector noted the availability of services and facilities in Wynyard Village. The village centre includes a convenience store, hairdressers, pharmacist, dentist, estate agents and public house. Wynyard Hall provides a hotel and spa. Wynyard Walled Garden includes a café and glasshouse restaurant and there is a further restaurant at Wynyard Golf Club. There is a primary school, with hall and sports facilities available for community use. There is also a children's play area off Wynyard Woods and future residents would have ready access to outdoor open space for recreation. Furthermore, as noted above, there is planning permission for a local centre on land to the north of the appeal site which would provide further accessible services and facilities including potential medical centre, café, veterinary practice and retail units. Thus future occupiers would have reasonable access to services and facilities, including by sustainable transport modes.
13. Therefore, taking the above into account, I conclude that the proposal would not be overdevelopment, having regard to scale, housing density and the supporting infrastructure. As the proposal would be in keeping, it would not harm the character of Wynyard Village. Consequently, I find no conflict with the aims of LP Policy SD8 in relation to securing high quality development including in terms of residential amenity, making places better for people, responding positively to its surroundings and reinforcing local distinctiveness. The proposal would also accord with the aims of the National Planning Policy Framework (the Framework) in relation to development that would function well and be sympathetic to local character including the surrounding built environment and landscape setting.

The setting of Wynyard Park Grade II listed park and garden (RPG)*

14. The appeal site comprises around 15.2ha of undeveloped agricultural land and coniferous plantation. It adjoins Wynyard Village to the north and east, with Castle Eden Walkway to the west and Wynyard Hall and Wynyard Park to the east.
15. Wynyard Park is an early 19th century designed landscape in the English garden tradition built for the Marquis of Londonderry. The park is contemporary with the

Grade II* listed Wynyard Hall, and it reflects the wealth and ambition of the family. The part adjacent to the appeal site remains much as it was in the 19th century, at which time it was a racecourse possibly dating to the late 18th century tenure of Sir Henry Vane Tempest who owned one of the most successful racehorses of that period. Although somewhat peripheral to the main focus of the parkland around the Hall and the lake, the historic use and function of this part in association with the breeding and training of racehorses makes an important contribution to the significance and status of the park.

16. Historically, the appeal site was agricultural land associated with the Wynyard Estate and the deciduous woodland in the area was replanted with conifers following World War II. In this regard, the boundary of the woodland in the north east corner of the appeal site is formed by a path that follows the line of the historic racecourse. Notwithstanding the previous outline planning permission, the appeal site continues to comprise undeveloped land which allows the historic parkland to be experienced as it was intended, as a designed landscape in an isolated and secluded rural agricultural setting. For this reason, the appeal site makes a broadly neutral contribution to the setting and thus the significance of the RPG.
17. The plans considered by the Council illustrated that the line of the historic racecourse would be preserved by the creation of a footpath in a wide tree-lined corridor through the development. However, the appeal site would be comprehensively developed for housing including adjoining the boundary of the RPG. The proposal would be relatively low density development and with rear gardens backing onto the RPG. Nonetheless, by virtue of its scale and close proximity, the contemporary suburban housing development subject of the planning appeal would be a discordant feature that would significantly erode the secluded rural setting and thereby it would harm the significance of the RPG.
18. In its consultation response to the appeal, Historic England advised that the proposal would result in moderate harm to the significance of the RPG but this could be greatly reduced by creation of a tree shelter belt along its boundary, as exists along the majority of the boundary between parkland and village. Further plans⁴ were then accepted during the processing of the appeal to illustrate a native tree shelter belt along the boundary between the park and the gardens. The depth was indicated as 13m, which is reasonably consistent with parkland transition arrangements elsewhere around Wynyard Park.
19. However, the previous Inspector noted that the illustrated shelter belt width was not consistent, being particularly constrained to the rear of plot 36 by the garage siting. There was also an absence of detail in relation to the proposed planting, the time it would take to reach maturity and uncertainty as to whether it would screen the proposal during winter when deciduous trees were not in leaf. Bearing in mind that the RPG in this case is an asset of the highest significance, I similarly find that the appeal scheme considered by the previous Inspector failed to demonstrate that it would preserve the significance of the designated heritage asset.
20. Following the quashing of the earlier appeal decision, and as noted above, further information and revised plans have been provided to the appeal. The re-siting of the garage closer to the dwelling in plot 36 and the shortened rear gardens would allow for a consistent 13m width of shelter belt planting (woodland buffer) to be

⁴ Drawing No. 4280-Native-Tree-Belt-01.

achieved within the appeal site next to the RPG boundary. Plans have also been provided to illustrate an extended 18m woodland buffer which would include 5m of planting within the RPG. In both scenarios, the buffer would be outside of the residential gardens and it would be maintained by the appellant for the lifetime of the proposal.

21. The buffer planting would comprise a native woodland edge mix between a native species hedgerow on the RPG side and a native shrub mix to the rear of the residential gardens. The extended buffer would include a wider central woodland edge zone. Both proposed buffers would comprise taller trees together with lower-growing dense shrubs and hedgerow. The inclusion of evergreen species, together with *Fagus sylvatica* which can hold its leaves, would bolster the planting and aid screening during winter.
22. Inevitably, it would take several years for the planting to mature. As such there would be an adverse, albeit reducing, effect in the early years until the planting matured into a dense and tall screen between years 10 to 15 following planting.
23. This increased depth and quantum of planting in the extended buffer would provide a more immediate visual screen and it would better function to screen the housing over winter. It also seems likely it would better screen artificial lighting from the development and be more capable of absorbing any future recreational or pruning/felling pressure from neighbouring residents without compromising its primary screening function. I therefore consider that the extended 18m buffer would have a noticeably improved visual effect both immediately and in the longer term compared to the 13m buffer. Consequently, I find that the extended buffer would demonstrably be a more effective landscape screen than the 13m buffer, both in the early years and in perpetuity.
24. As noted, the extended buffer would include 5m of planting outside the appeal site. However, section 72(1) of the Town and Country Planning Act 1990 (as amended) sets out that conditions may be imposed on the grant of planning permission under section 70(1) for regulating the development or use of any land under the control of the applicant (whether or not it is land in respect of which the application was made) or requiring the carrying out of works on any such land, so far as appears to the local planning authority to be expedient for the purposes of or in connection with the development authorised by the permission.
25. In this case, the RPG is in the control of the appellant, and they have indicated their willingness to deliver the additional planting as part of the development proposed. The extended buffer would screen the development from the RPG. Importantly, the proposed RPG perimeter planting would be in keeping with the historic design and established character of the 19th century parkland. Upon maturity, it would preserve the historic sense of rural seclusion and enclosure to the RPG. Consequently, as the extended buffer would be necessary and relevant to the development to be permitted, I find that this is a matter that could be satisfactorily addressed by the imposition of a suitably worded planning condition.
26. Even so, until the proposed woodland buffer matured which is estimated to be between 10 to 15 years, the housing development would fail to preserve the setting and thereby it would harm the significance of the designated heritage asset drawing it into conflict with LP policies SD5, SD8 and H3 including in relation to reinforcing

local distinctiveness and conserving and where possible enhancing the significance of heritage assets.

27. Taking into account the scale and location of the proposal, I consider the harm would be at the lower end of less than substantial but nevertheless of considerable importance and weight. The Framework advises that in such circumstances, the harm should be weighed against the public benefits of the proposal.
28. The replacement of the somewhat industrial metal palisade fencing to the RPG boundary with traditional estate railings would be a modest benefit that carries limited weight. More significantly, the proposal would make a sizeable contribution to the Council's housing supply and there would be a large financial contribution towards affordable housing. Taking into account the shortfall in the Council's 5 year housing land supply (5YHLS), these benefits carry significant weight. The financial contribution towards education and the support for local employment and local businesses collectively carry moderate positive weight.
29. As noted, weighed against these benefits is the harm to the designated heritage asset. In this regard, the Framework affords great weight to the conservation of designated heritage assets and advises that the more important the asset, the greater that weight should be. In this case, the Grade II* registered park and garden is an asset of the highest significance. Consequently, had the harm been permanent in duration, and in recognition of the significance of the RPG to the nation, I would have found that the harm would not be outweighed by the benefits of the proposal as did the previous Inspector. However, the harm would be relatively short-term in duration and its magnitude would decrease as the planting matured. I therefore find that the limited and temporary harm would be outweighed by the public benefits.

Other matters and planning balance

30. I have been provided with a signed and dated planning obligation by deed of agreement under section 106 of the Town and Country Planning Act 1990 (the S106). As this is completed, I have taken it into account.
31. The affordable housing sum would be used by the Council towards affordable housing in the area. This is consistent with LP Policy H4 which requires that schemes of over 10 dwellings make provision for 20% affordable new homes but accepts off-site provision or a commuted sum where the proposal is for executive housing. In this case, the proposal would be market housing, predominantly executive, in accordance with LP Policy SD3. The sum has been calculated on the basis of 27 dwellings split between affordable rented and shared ownership and using average property prices at Wynyard. Therefore, the contribution would be necessary to make the development acceptable in planning terms, directly related and fairly and reasonably related in scale and kind to it.
32. The education contribution would be used to further primary and secondary school needs in the local area. This is necessary to meet the needs of the proposal and it is directly related to the development. As this has been calculated using the Council's standard methodology for school provision based on the proposed number of family homes, it is fairly and reasonably related in scale and kind.
33. The Local Labour Agreement requires the appellant to use reasonable endeavours to ensure that 10% of jobs are available to residents and 10% of the net value of

- services and materials used in the development are provided by businesses in the Tees Valley. This would be in accordance with the local plan, directly related to the development by virtue of its employment generation, and reasonably and fairly related in terms of scale and kind.
34. The obligations are related to local plan requirements and therefore necessary to make the development acceptable in planning terms. They are directly related to the development and reasonably related in scale and kind to it. The planning obligations therefore comply with the tests set out in the Framework and Regulation 122 of the Community Infrastructure Levy Regulations 2010 (as amended).
 35. I have taken into account the concerns of interested parties. Based on the evidence, the proposal would have a negligible impact on the highway network subject to delivery of the previously identified mitigation along the A689 corridor and travel plan. These could be addressed by the imposition of planning conditions. Matters relating to overdevelopment and infrastructure are addressed above.
 36. Open spaces and pedestrian links would be overlooked by properties to provide natural surveillance, in accordance with secure by design principles. There is little substantive evidence that there would be an increase in crime in the area or that the proposal would result in poor levels of privacy for future occupiers.
 37. There would inevitably be more noise during construction and occupation compared to undeveloped agricultural land. However, construction would be temporary and hours of work would be limited. I am not aware that the residential development would give rise to any unusual or excessive noise such as would be detrimental to neighbouring residential occupiers.
 38. The proposal would not result in adverse effects on the Teesmouth Special Protection Area (SPA). This is because foul discharges are via a long outfall pipe into the North Sea and as such the proposal would not result in increased nitrogen levels in the SPA. Mitigation for impacts on protected species during construction could be secured by planning condition. The application was submitted prior to the mandatory requirement for Biodiversity Net Gain, but nevertheless the evidence indicates that net gains for biodiversity in accordance with the Framework could be delivered as part of the scheme.
 39. While I have taken into account the third party representations to the planning application and the appeal, the matters raised do not justify dismissing the appeal.
 40. The Council's Housing Supply and Delivery: Annual Position Statement 2025/26 to 2029/30 (October 2025) sets out that Council's supply of deliverable housing sites for this period stands at 3367. Taking into account the 5-year supply requirement of 4153, the Council can currently demonstrate only a 4 year supply of deliverable housing sites.
 41. Paragraph 11 of the Framework sets out that plans and decisions should apply a presumption in favour of sustainable development. Where the policies which are most important for determining the application are out of date, planning permission should be granted unless either of paragraph d)i. or ii. apply. In the absence of a 5YHLS, the Council's housing policies are out-of-date and therefore paragraph 11d) is engaged. As I have found that the heritage balance would be in favour of the proposal, no policies in the Framework that protect areas or assets of particular importance provide a strong reason for refusal. Taking into account my finding in

relation to the first main issue, the proposal would not result in any adverse impacts that would significantly and demonstrably outweigh the benefits. Therefore, the presumption in favour of sustainable development applies and planning permission should be granted.

Conditions

42. The Council suggests a list of planning conditions in the event the appeal was allowed. Subject to some minor suggested amendments, these have been agreed and accepted by the appellant. I have considered the conditions against the tests set out in the Framework and have amended them in places in the interests of precision or enforceability.
43. I have imposed the standard time limits condition (No 1) and a condition specifying the approved plans (No 2) in the interests of certainty. Plan numbers have been updated where necessary to reflect the revised development permitted and additional plans specifying the extended woodland buffer have been included. Conditions relating to materials (No 3), boundary treatments (No 4), soft and hard landscaping (Nos 12 and 13) and tree protection (Nos 15 and 16) are required, amongst other things, in the interest of the character and appearance of the area.
44. With reference to condition No 12 (landscaping), this is required in part to preserve the neighbouring designated heritage asset. I have therefore amended the wording to include specific reference to the woodland shelter belt along the RPG boundary. I have not amended the wording to allow for the landscaping to be delivered relative to the phasing of the development because the condition already makes provision for phased implementation and because the woodland buffer will need to be established at the earliest opportunity, irrespective of the phase of development to which it relates. I have amended the wording in relation to the duration of management because, as the appellant proposes, the woodland buffer will need maintaining for the lifetime of the development in order to preserve the RPG.
45. A construction management plan (No 5) and construction environment management plan (No 6) are necessary in the interests of highway safety and to protect residential amenity and biodiversity during construction. A restriction on the hours of construction (No 7) will also protect neighbouring residential amenity.
46. Details of artificial illumination (No 9) are required to protect residential amenity and trees, while conditions No 8 (site levels) and No 14 (footpath) are necessary in the interests of the character and appearance of the area, environmental and biodiversity protection.
47. Further details of trees in and adjacent to the adopted highway (No 10) are required in the interests of maintenance and safe operation of the highway, the latter also justifies the imposition of condition No 29 (residential travel plan) and No 30 (highway improvement scheme). The provision of cycleways and footpaths (No 18) supports sustainable forms of transport.
48. The provision of public open space (No 11), placemaking nodes (No 17) and facilities for bins/refuse (No 26) are necessary in the interests of character and appearance, residential amenity and placemaking.
49. A scheme for sustainable surface water drainage (Nos 19 and 20) is necessary to mitigate the risk of surface water flooding to the development and the surrounding

- area. Measures to address unexpected land contamination (No 27) and radon gas (No 28) are necessary to protect the environment and human health.
50. Measure to mitigate adverse effects on protected species (No 21), repeat survey (No 22), pre-works checks (No 23) and biodiversity gain plan (No 24) are necessary to protect and enhance biodiversity. A scheme of archaeological recording (No 31) is necessary because of the possible presence of on-site archaeological remains.
51. The provision of ducting infrastructure to facilitate fibre connections to all new development (No 25) is essential for economic growth and social wellbeing. The retention of garages (No 32) and the removal of permitted development rights relating to boundary treatments (No 33) are necessary to provide adequate parking provision and to protect character and appearance and residential amenity.
52. A number of conditions are pre-commencement, including construction management plans, details of the schemes of public open space and footpaths/cycleway, surface water management, tree protection and biodiversity gain plan. These details need to be agreed before works start because they affect how the development as a whole is undertaken and delivered.

Conclusion

53. For the reasons set out above, I find that there would be some limited conflict with heritage policies of the development plan but I am satisfied that the proposal would be in accordance with the development plan as a whole.
54. Therefore, I conclude that the appeal should be allowed subject to the conditions in the attached schedule.

Sarah Manchester

INSPECTOR

Schedule of Conditions

- 1) The development hereby permitted shall begin not later than 3 years from the date of this permission.

- 2) The development hereby permitted shall be carried out in accordance with the following approved plans:
 - Building Materials – Boundary Types (P2-PL-05 Rev B);
 - M42/M43 Compliance Plan (P2-PL-10 Rev B);
 - Boundary Treatments (P2-PL-09);
 - External Materials Plan (P2-PL-06 Rev B);
 - Site Plan (P2-PL-02-2 Rev B);
 - Site Plan (P2-PL-02-1 Rev B);
 - House Type 8 Proposed Plans (HT-8-02 Rev A);
 - House Type 8 Proposed elevations - traditional (HT-8-01 Rev A);
 - House Type 8+ Proposed Plans – traditional (HT-8+-02 Rev A);
 - House Type 8+ Proposed elevations (HT-8+-01 Rev A);
 - House Type 7 Proposed plans – traditional (HT-7-04 Rev A);
 - House Type 7 Proposed elevations – traditional (HT-7-03 Rev A);
 - House Type 7+ Proposed plans – traditional (HT-7+-04 Rev A);
 - House Type 7+ Proposed elevations – traditional (HT-7+-03 Rev A);
 - House Type 6 Proposed plans – traditional (HT-6-04 Rev A);
 - House Type 6 Proposed elevations – traditional (HT-6-03 Rev B);
 - House Type 6 Proposed plans – barn (HT-6-02 Rev B);
 - House Type 6 Proposed elevations – barn (HT-6-01 Rev B);
 - House Type 6+ Proposed plans – traditional (HT-6+-04 Rev B);
 - House Type 6+ Proposed elevations – traditional (HT-6+-03 Rev B);
 - House Type 6+ Proposed plans – barn (HT-6+-02 Rev B);
 - House Type 6+ Proposed elevations – barn (HT-6+-01 Rev B);
 - House Type 3 Proposed plans – barn front aspect (HT-3-06 Rev A);
 - House Type 3 Proposed elevations – barn front aspect (HT-3-05 Rev A);
 - House Type 3 Proposed plans – barn side aspect (HT-3-04 Rev A);
 - House Type 3 Proposed elevations – traditional (HT-3-03 Rev A);
 - House Type 3 Proposed plans – barn side aspect (HT-3-02 Rev A);
 - House Type 3 Proposed elevations – barn side aspect (HT-3-01 Rev A);
 - House Type 2 Proposed plans – barn (HT-2-02 Rev A);
 - House Type 2 Proposed elevations – barn (HT-2-01 Rev A);
 - House Type 12 Proposed plans (HT-12-04 Rev A);
 - House Type 12 Proposed elevations – traditional (HT-12-03 Rev A);
 - House Type 12 Proposed plans – barn (HT-12-02 Rev B);
 - House Type 12 Proposed elevations – barn (HT-12-01 Rev B);
 - House Type 12 Proposed plans (HT-12+-04 Rev A);
 - House Type 12 Proposed elevations – traditional (HT-12+-03 Rev A);
 - House Type 12 Proposed plans – barn (HT-12+-02 Rev B);
 - House Type 12 Proposed elevations – barn (HT-12+-01 Rev B);
 - House Type 11 Proposed elevations – traditional (HT-11-07 Rev A);
 - House Type 11 Proposed plans (HT-11-06 Rev A);
 - House Type 11 Proposed ground floor plan inc garage (HT-11-05 Rev A);
 - House Type 11 Proposed elevations inc garage – barn (HT-11-04 Rev A);
 - House Type 11 Proposed elevations inc garage - barn (HT-11-03 Rev A);
 - House Type 11 Proposed plans – traditional (HT-11-02 Rev B);

House Type 11 Proposed elevations – barn (HT-11-01 Rev B);
House Type 10 Proposed plans (HT-10-02 Rev C);
House Type 10 Proposed elevations (HT-10-01 Rev C);
Home Office Proposed plans (HO-02 19);
Home Office Proposed elevations – trad (HO-01);
Site Plan – Context – Colour (P2-MP01 Rev B);
Landscape Masterplan (C-2044-03 Rev B) (as amended by 4879-102 Rev B);
Landscape Buffer to Parkland – extended zone (4879-102 Rev B);
Planting Plan (1 of 2) – Landscape Buffer extended zone (4879-203);
Planting Plan (2 of 2) – Landscape Buffer to Parkland (4879-204);
Bungalow Type 1 Proposed Plan – Barn Style (BT-1-04 Rev B);
Bungalow Type 1 Proposed Elevations – Barn Style (BT-1-03 Rev B);
Bungalow Type 1 Proposed Plan - Traditional (BT-1-02 Rev A);
Bungalow Type 1 Proposed Elevations - Traditional (BT-1-01 Rev A);
Materials Layout (2310.03);
Proposed Site Layout (2310.01 Rev B);
House Type T18 Floor plans and elevations (2310-P-T18-01);
House Type T17 Elevations (2310-P-T17-02);
House Type T17 Floor Plans (2310-P-T17-01);
House Type T16 Elevations (2310-P-T16-02);
House Type T16 Floor plans (2310-P-T16-01);
House Type T15 Floor Plans and elevations (2310-P-T15-01);
House Type T13 Floor plans and elevations (2310-P-T13-01);
Location Plan (P2-PL-01 21 December 2022);
Residential block – Local centre – plots 71-76 (LC-02);
Double garage – trad proposed elevations (DG-02 Rev A);
Double garage – trad proposed elevations (DG-01-Rev A).

- 3) Notwithstanding the submitted details in the application, the external walls and roofs of any phase of development shall not be commenced until precise details of the materials to be used in the construction of the external walls and roofs of the dwellings hereby permitted for that phase of development have been submitted to and approved in writing by the local planning authority. The development shall be carried out in accordance with the approved details.
- 4) Prior to the erection of any means of enclosure within any phase of the development hereby permitted, details of all means of enclosure for that phase of development shall be submitted to and approved in writing by the local planning authority. This shall include all acoustic barriers, walls, fences, entrance feature walls, hedgerows and knee rail fencing. This shall also include the specification for holes in boundary walls and fences at ground level to allow for the movement of hedgehogs. The means of enclosure shall be completed in accordance with the approved details prior to first occupation of the development or approved phases.
- 5) No development shall take place until a Construction Transport Management Plan (CTMP) has been submitted to and approved in writing by the local planning authority. The CTMP shall provide details of:
 - the site construction access(es), including location and method of construction;
 - the parking of vehicles of site operatives and visitors;

- loading and unloading of plant and materials including any restrictions on delivery times;
- storage of plant and materials used in constructing the development;
- the erection and maintenance of security hoarding including decorative displays and facilities for public viewing;
- measures to be taken, including but not limited to wheel washing facilities and the use of mechanical road sweepers operating at regular intervals or as and when necessary, to avoid the deposit of mud, grit and dirt on the public highway by vehicles travelling to and from the site;
- measures to control and monitor the emission of dust and dirt during construction;
- a Site Waste Management Plan;
- details of the HGVs routing including any measures necessary to minimise the impact on other road users;
- measures to protect existing footpaths and verges; and
- a means of communication with local residents.

The approved CTMP shall be adhered to throughout the construction period.

- 6) Prior to the commencement of the development hereby permitted, a detailed Construction Environmental Management Plan (CEMP) for each phase shall be submitted to and agreed in writing by the local planning authority. This shall include details of all proposed excavations, piling, construction, machinery used (including location) and associated mitigations, in accordance with BS 5228:1997. It shall also include all measures to be undertaken to protect habitats and wildlife during the construction phase of the development identified in the submitted ecology reports by OS Ecology - Ecological Appraisal (November 2022); Great Crested Newt Assessment (November 2022); Bat Survey (October 2022); Badger Report (October 2022).

The approved CEMP shall be adhered to throughout the construction period.

- 7) No construction/demolition works, or deliveries shall be carried out except between the hours of 8.00am and 6.00pm on Mondays to Fridays and between 8.00am and 1.00pm on Saturdays. There shall be no construction activity including demolition on Sundays or on Bank Holidays.
- 8) Prior to the commencement of each phase of development, details of the existing and proposed levels of the site for that phase, including the finished floor levels of the buildings to be erected and any earth retention measures (including calculations where such features support the adopted highway) shall be submitted to and approved in writing by the local planning authority. Development shall be carried out in accordance with the approved details.
- 9) Prior to the commencement of any above ground construction on any phase of the development hereby permitted, full details of the method of external LED illumination and the position of all columns for that phase of development shall be submitted to and agreed in writing by the local planning authority to avoid conflict with the positions of trees as approved under condition 10. The lighting shall be implemented in accordance with the approved details prior to the occupation of the dwellings in that phase of development.

- 10) Prior to commencement of above ground construction for any phase of the development, details of arrangements for the planting of street trees and protection of the adopted highway in that phase of development from tree root damage shall be submitted to and approved in writing by the local planning authority. Root barriers will be required where trees are planted within 2m of the adopted highway. Development shall be carried out in accordance with the approved details.
- 11) No development shall commence until details of the scheme for the Public Open Space (POS) within the site have been submitted to and approved in writing by local planning authority, including:
- The delineation and siting of the POS including consideration of the 'landscape for play' approach;
 - The phasing for delivery of the POS across the site;
 - Existing and proposed ground levels for all the POS and any associated mounding. Mounding details shall also include typical cross sections, at a minimum scale of 1:200 illustrating topsoil capping and core materials, side slope gradients that shall not exceed 1:5 and indicative heights. Placed soil materials shall be of a suitable depth and compaction to ensure successful grass, shrub and tree establishment;
 - The type and nature of the facilities to be provided within the POS which shall comprise of play equipment for all age groups including young children and teenagers which shall be supplied and installed to a specification as agreed by the local planning authority;
 - Details of the preparation, cultivation, grading and drainage of large grassed areas of POS;
 - Details of street furniture within POS;
 - The arrangements the developer shall make for the future management of the POS including water courses which pass through the site.
 - Where Title Transfer is not proposed the management details shall be prepared for a minimum period of 25 years from practical completion of the completion of the final phase of the POS works and include details of the appointed management company.
- The open space shall be completed in accordance with the approved details and any phasing arrangements agreed.

- 12) Prior to the first occupation of any phase of the development, full details of soft landscaping and associated maintenance shall be submitted to and approved in writing by the local planning authority. These shall include:
- a detailed planting plan and specification of works including the creation of a shelter belt along the eastern boundary of the site in accordance with drawing number 4879-102 Rev B Landscape Buffer – Extended Zone (indicating soil depths, plant species, numbers, densities, locations, interrelationship of plants, stock size and type, grass, and planting methods including construction techniques for pits in hard surfacing and root barriers);
 - a phasing programme for the implementation of landscaping and associated soft landscaping maintenance;
 - details of all existing or proposed utility services that may influence proposed tree planting shall be indicated on the planting plan.

The soft landscaping works including all planting works shall be carried out in accordance with the approved details and in the first available planting season in accordance with the implementation programme.

The soft landscape maintenance details shall include details of access routes to demonstrate operations can be undertaken from publicly accessible land (or the neighbouring Wynyard Park in the case of the shelter belt), long term design objectives, management responsibilities and maintenance schedules for all landscape areas and retained vegetation other than privately owned domestic gardens.

Before the development is first occupied, a schedule of landscape maintenance for the initial 5 year establishment phase from date of completion of the total scheme regardless of any phased development period followed by a long-term management plan for the lifetime of the development shall be submitted to and approved in writing by the local planning authority.

All landscaping shall be maintained in accordance with the approved landscape maintenance and management plan.

Any vegetation within a period of 5 years from the date of planting that is dying, damaged, diseased or in the opinion of the local planning authority is failing to thrive shall be replaced within the first available planting season by another of the same size and species as that originally planted.

- 13) No above ground construction shall commence on any phase of development until full details of proposed hard landscaping including the highway materials for that phase of development have been submitted to and approved in writing by the local planning authority. This shall include all external finishing materials, finished levels, and all construction details confirming materials, colours, finishes and fixings. The scheme shall be completed in accordance with the approved details, including an approved timetable / delivery programme. Any defects in materials or workmanship appearing within a period of 12 months from completion of the total development shall be made-good by the owner as soon as practicably possible.
- 14) Prior to the occupation of any phase of the development, details of the footpath running north to southeast through the development along the line of 'The Racecourse' shall be submitted to and approved in writing by the local planning authority. This shall include details of all external finishing materials, finished levels, and all construction details confirming materials, colours, finishes and fixings, and a timetable for the construction of the footpath. The footpath shall be completed in accordance with the approved details prior to the occupation of the development hereby approved. Any footpath defects in materials or workmanship appearing within a period of 12 months from completion of the development hereby permitted shall be made-good by the owner as soon as practicably possible.
- 15) No development shall commence until an Arboricultural Method Statement and Tree Protection Plan have been submitted to and approved in writing by the local planning authority. These shall be in accordance with the following documents (or equivalent if replaced): British Standard 5837:2012 Trees in relation to design, demolition and construction – Recommendations; British Standard 3998:2010 Tree Work – Recommendations; and NJUG Guidelines For the

Planning, Installation and Maintenance of Utility Apparatus in Proximity to Trees (Issue 2) – Operatives Handbook 19th November 2007.

The approved scheme for the protection of retained trees shall be carried out prior to any equipment, machinery or materials being brought to site for use in the development and be maintained until all the equipment, machinery or surplus materials connected with the development have been removed from the site.

- 16) Prior to commencement of any works, a pre-commencement meeting shall be held on site and attended by the developers appointed arboricultural consultant, the site manager/foreman and a representative from the local planning authority to discuss details of the working procedures and agree either the precise position of the approved tree protection measures to be installed OR that all tree protection measures have been installed in accordance with the approved tree protection plan. The development shall be carried out in accordance with the approved details.
- 17) Prior to first occupation of any phase of the development hereby approved, details of Placemaking Nodes within the development layout shall be submitted to and approved in writing by the local planning authority. A node shall be provided as shown indicatively on the Landscape Masterplan drawing C-2044-03-Revision A and shall include hard and soft landscaping and street furniture.
- 18) Prior to commencement of the development hereby permitted, full details of the pedestrian/cycleway link from the development to the Castle Eden walkway shall be submitted to and approved in writing by the local planning authority. The cycleway and pedestrian links shall be completed in accordance with the approved details and any associated phasing plan. Thereafter the pedestrian/cycleway link shall remain open for public use at all times and shall be maintained in accordance with the approved details for the lifetime of the development.
- 19) No development shall take place until a detailed Sustainable Surface Water Drainage Scheme has been submitted to and approved in writing by the local planning authority. The scheme shall include but not be restricted to providing the following details:
 - I. Detailed design of the surface water management system (for each phase of the development);
 - II. A build programme and timetable for the provision of the critical surface water drainage infrastructure;
 - III. A management and maintenance plan detailing how surface water runoff from the site will be managed during the construction phase;
 - IV. Details of adoption responsibilities.The scheme shall be implemented and thereafter managed and maintained in accordance with the approved details.
- 20) No building hereby permitted shall be occupied until:
 - I. Requisite elements of the approved surface water management scheme for the development, or any phase of the development, are in place and fully operational to serve that building;
 - II. The drawings of all Suds features have been submitted to and approved in writing by the local planning authority; the drawings should highlight all site

- levels, including the 30year and 100year+cc flood levels and confirmation of storage capacity;
- III. A Management and maintenance plan of the approved Surface Water Drainage scheme has been submitted to and approved in writing by the local planning authority, to include the funding arrangements and covering the lifetime of the development.
- 21) The development hereby permitted shall be carried out in accordance with the recommendations, mitigation and compensation measures set out within the submitted reports by OS Ecology - Ecological Appraisal (November 2022); Great Crested Newt Assessment (November 2022); Bat Survey (October 2022); Badger Report (October 2022).
- 22) If work does not commence within 2 years from the date of the submitted OS Ecology – Ecological Appraisal report (November 2022) then, within the 3 month period prior to the commencement of works, a suitably qualified ecologist shall undertake a checking survey to ensure that no protected species or their habitat are present on site. The results of the survey shall be submitted to and approved in writing by the local planning authority and any additional or revised mitigation measures shall be implemented in full.
- 23) As detailed in BS 3998:2010, prior to work commencing, any trees and their surroundings shall be assessed by a suitably qualified ecologist for the presence of protected species. Any works shall be planned so as to limit their potential adverse impact on wildlife generally. The timing of works shall take account of the seasonal cycles of the species of fauna and flora concerned (including the nesting habits of birds and the egg-laying habits of insects).
- 24) No development shall commence until a Biodiversity Gain Plan (showing a positive gain) has been submitted to and approved in writing by the Local Planning Authority. The Biodiversity Gain Plan shall include information about the steps that will be taken to minimise the adverse effect of the development on the biodiversity of the onsite habitat and the site's pre- and post development biodiversity value. The agreed plan shall be implemented in accordance with the approved details and be retained thereafter for the lifetime of the development.
- 25) Open access ducting to facilitate fibre and internet connectivity shall be provided from the homes to the public highway.
- 26) Prior to the occupation of the dwellings hereby permitted, each plot shall be provided with the appropriate means of waste and recycling provision in accordance with the applicable Council standards.
- 27) Any previously unidentified contamination that is found during the course of construction shall be reported immediately to the local planning authority. Development on that part of the site affected by the unexpected contamination shall be halted until an investigation and risk assessment has been carried out and submitted to and approved in writing by the Local Planning Authority. Where unacceptable risks are found, the development or relevant phase shall not resume until remediation and verification schemes have been carried out in

accordance with details that shall first have been submitted to and approved in writing by the local planning authority.

- 28) No development shall commence on any phase of development until details of the gas protection design for radon for that phase of development has been submitted to and approved by the local planning authority. The assessment and design shall be carried out in accordance with BRE Report BR211 (2015) Radon: Protective Measures for New Buildings. Where required, the approved gas protection measures shall be verified and approved by the Building Control Department within Stockton Borough Council or other approved Building Control Inspector. Details of the verification of installation shall be provided to the Environmental Health Department within Stockton Borough Council prior to occupation of any of the dwellings hereby permitted.
- 29) The development hereby permitted shall be occupied in accordance with the approved Residential Travel Plan for the site (December 2023) which shall remain in perpetuity unless otherwise amended in accordance with a review to be submitted to and approved in writing by the local planning authority.
- 30) No dwelling hereby permitted shall be occupied unless and until the highway improvement scheme at the A19/A689 Wolviston junction, shown in principle on Drawing number 276864-ARP-ZZ-XX DR-CH-0101 & Drawing Number 276864-ARPZZ-XX-DR-CH-0102, has implemented in accordance with the approved details and to the satisfaction of the local planning authority.
- 31) Prior to the development of the mid-19th century reservoir as shown on the 1855 Ordnance Survey map, a photographic survey of the reservoir shall be carried out by a suitably qualified heritage professional. A report of the survey findings shall be submitted to and approved by the local planning authority. No development of the reservoir shall take place without the prior written approval of the local planning authority.
- 32) Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any Order revoking and re-enacting that Order with or without modification), no internal or external alterations shall take place to any garage which would preclude its use for housing motor vehicles.
- 33) Notwithstanding the provisions of Class A of Part 2 of Schedule 2 of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any Order revoking and re-enacting that Order with or without modification), no walls, fences, railings or other form of boundary enclosures shall be erected between any point taken in line with the properties front elevation and the highway unless otherwise approved in writing by the local planning authority.

End of Schedule

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Appeal Decision

Site visit made on 6 January 2026

by **C Harding BA (Hons) PGCert PGDip MRTPI**

an Inspector appointed by the Secretary of State

Decision date: 13th January 2026

Appeal Ref: APP/H0738/Z/25/3371781

18 Oxbridge Lane, Stockton-on-Tees TS18 4DN

- The appeal is made under Regulation 17 of the Town and Country Planning (Control of Advertisements) (England) Regulations 2007 (as amended) against a refusal to grant express consent.
 - The appeal is made by Wildstone Estates Limited against the decision of Stockton-on-Tees Borough Council.
 - The application Ref is 25/0891/ADV.
 - The advertisement proposed is digital LED advertisement on the flank wall of the existing building.
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Decision

1. The appeal is dismissed.

Preliminary Matter

2. The Council has drawn my attention to the policies within the Stockton-on-Tees Borough Council Local Plan ('LP') and the Part 5 Shop Front Design and Advertisements; Technical Guidance and Standards Supplementary Planning Document (S) it considers to be relevant to this appeal, and I have taken them into account as material considerations. However, powers under the Town and Country Planning (Control of Advertisements) (England) Regulations 2007 ('the Regulations') may be exercised only in the interests of amenity and public safety, taking account of any material factors. Therefore, in determining this appeal, the Council's policies, in themselves, have not been decisive.

Main Issue

3. The main issue is the effect of the proposal upon the amenity of the area.

Reasons

4. The proposed advertisement would be equivalent to a 48-sheet hoarding, positioned 4 metres above the ground on the gable end of the building and would display six advertisements rotating every 10 seconds. It would have variable illumination with self-adapting levels of between 330 candelas per square metre (cd/sqm) in darkness and 5,000 cd/sqm in daylight.
5. The appeal site is the gable end of an existing building which appeared unoccupied at the time of my visit. It is located along a stretch of Oxbridge Lane which notably straight as it heads towards the city centre. Some distance beyond the appeal site, the road dips significantly to pass under a railway line. Several advertisements, including digital advertisements, are located at the roadside within this dip.

6. The character of the immediate area is mixed, with a range of commercial properties addressing Oxbridge Lane itself, with residential streets of mainly terraced houses leading off the main road. Non-residential uses in the area include, but are not limited to, a school, church, convenience store, bathroom/interior showroom, petrol station and immediately adjacent to the appeal site, a hand carwash.
7. As a result, there is a range of existing signage and advertisement in the area. However, other than the large hoardings close to the railway line, and the totem associated with the petrol station there did not appear to be, at the time of my visit, a proliferation of other illuminated advertisements and my attention has not been drawn to any other examples in the area. Consequently, although advertisements are present, they are generally relatively understated in their appearance and effect upon the amenity of the area.
8. The site to the west of the appeal property is operating as car wash and contains only lightweight structures such as palisade fencing and canopies. It is visually permeable and effectively forms a gap in the street frontage. As a result, the gable wall of the appeal property is clearly visible and prominent when approached from the east. The proposed large, digital illuminated advertisement which would be hosted on this gable end would be highly prominent and visible for some distance when approached from the west due to the level topography and straightness of the road. This would be particularly so due to the height of the proposed advertisement above street level. Given the existing streetscene, the proposal would result in harm to the amenity of the area.
9. The advertisements close to the railway line are visually contained by topography and nearby structures; when approached from the east, the railway bridge provides a significant level of screening until the viewer has passed underneath it, and the school building, in combination with the change in levels means that the adverts are not noticeably prominent when approached from the west. Accordingly, they are largely viewed separately and do not contribute to the character of the area immediately surrounding the appeal site, or in views when the appeal would be approached from the west. They do not, therefore, reduce or justify the harm that I have found.
10. The level of illumination of the proposed advertisement would be dynamic, with limits which could be controlled by means of planning condition. However, even with controlled levels of illumination, the proposed advertisement would remain large and prominent. Cycling through advertisements, even at ten second intervals, would introduce a degree of animation which would also draw the eye. The proposal would therefore remain unacceptably harmful to the amenity of the area.
11. The gable wall of the appeal property is currently covered by a mural. There is no dispute between the main parties that this is unauthorised. The proposed advertisement would partially obscure the mural. While this might appear unusual, it would not, in itself lead to harm to the amenity of the area, particularly given the apparent unauthorised nature of the mural. This would not however, reduce the harm that I have otherwise identified would result from the proposal.
12. For these reasons I conclude that the proposed advertisement would have an unacceptably harmful effect upon public amenity. In reaching this conclusion, while

not determinative, I have taken account of LP Policies SD1 and SD8, the SPD, as well as the National Planning Policy Framework. Together, and amongst other factors, these policies seek to ensure that development should create a positive sense of place, and that advertisement hoardings should be appropriate in scale to their surroundings and will not be supported when they cause harmful visual impact.

Other Matters

13. The proposed advertisement would have some benefits, including the ability to relay emergency or public messages, however it is unclear how these benefits would be secured. Equally, although it is stated that the unit would have the potential to accommodate smart city hardware, this also would not be adequately secured such that it would be a factor to which I could afford a large amount of weight, as there is no certainty that it would be brought forwards.
14. I do not doubt that the overall numbers of advertisements are decreasing following the rollout of digital advertising units. However, there is no evidence before me that indicates that the appeal proposal would directly lead to the removal of any specific existing advertisements, or even if it was to do so, how such removal could be adequately secured.
15. The appeal proposal may represent advantages in comparison to more traditional hoarding advertisements in terms of requiring fewer vehicle trips for servicing purposes and eliminating the need for new paper advertisements to be posted at intervals.
16. However, as set out above, there is no indication that the proposal would lead to the removal of any specific traditional hoardings, and therefore, while the proposal could be less harmful in these respects in comparison to a proposal for a new traditional hoarding, there is no substantive evidence before me to confirm that it would represent an improvement over the existing situation. Moreover, there is no indication that equivalent benefits could not be delivered at another, less harmful, location. I therefore afford very modest weight to these factors as benefits of the proposal.
17. It is stated that the proposal could be used for emergency messaging, to promote local businesses, to provide public messages or to display public art. However, the specific content of the proposed advertisement is outside of the scope of this appeal, and in the absence of any mechanism to secure this, I cannot, therefore, be certain that this would be the case. I therefore afford this factor very little weight as a benefit of the proposal.
18. The appeal property appears to be currently unoccupied. While the re-occupation of the building would undoubtedly be of a benefit to the character of the area, the introduction of an illuminated digital advertisement on the gable elevation of an otherwise empty building would not provide any significant or comparable meaningful animation to the property. I therefore afford this factor very limited weight in my considerations.
19. Even if I were to agree that the proposal represented a high quality and robust design and would not affect the living conditions of occupiers of nearby properties, a lack of harm in these respects would be neutral factors and would not weigh in favour of the proposal.

20. When considered in the round, the weight that I afford to the benefits of the proposed advertisement are limited and would not outweigh the harm to amenity that I have found.
21. The Council has raised no concerns in relation to the effect of the proposal upon public safety and I have no reason to disagree.

Conclusion

22. For the reasons given above, I conclude that the proposed advertisement would be detrimental to the interests of amenity. Accordingly, the appeal should be dismissed.

C Harding

INSPECTOR